



City Hall, 209 S. Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7352
www.marysvilleohio.org

**DESIGN REVIEW BOARD
AGENDA
Wednesday, September 14, 2016, 6:30 p.m.
Council Chambers, 209 S. Main Street, 2nd Floor**

CALL MEETING TO ORDER:

Time In: _____

ROLL CALL:

Scot Draughn ___ Pete Griffin ___ Tim Schacht ___
Virginia Golan ___ Ed Mickelson ___ Melissa Marino ___

APPROVAL OF MINUTES:

August 10, 2016 Regular Scheduled Meeting Minutes
Vote: _____

August 18, 2016 Special Meeting Minutes
Vote: _____

August 25, 2016 Special Meeting Minutes
Vote: _____

CITIZEN COMMENTS:

ADMINISTRATION COMMENTS:

OLD BUSINESS:

1. Exterior Plan/Landscape Plan: An application for a new Sleep Inn Hotel on property located at 1001 & 1041 Lydia Drive in the TOC (Traffic Oriented Commercial) zoning district.

Motion By: _____ Vote: _____

Conditions: _____

NEW BUSINESS:

2. Certificate of Appropriateness in the Historic Design Review District: An application for new signage at 411 W 5th Street (Dave's Pharmacy) in the BR (Business Residential) zoning district.

Motion By: _____ Vote: _____
Conditions: _____

3. Exterior Plan/Landscape Plan: An application for a new early childhood education center with playground equipment (Primrose School) on property fronting Mill Road and Cobblestone Way in the B-1 (Service Business) zoning district.

Motion By: _____ Vote: _____
Conditions: _____

4. Exterior Plan/Landscape Plan: An application for a new Moo Moo Express Car Wash on property located at 1044 Delaware Avenue in the TOC (Traffic Oriented Commercial) zoning district.

Motion By: _____ Vote: _____
Conditions: _____

5. Exterior Plan/Landscape Plan: An application for a new ten four-unit apartment building complex on property located on the northwest corner of Emmaus and Damascus Roads in the R-4 (Low Density Multi-Family Residential) zoning district.

Motion By: _____ Vote: _____
Conditions: _____

6. Exterior Plan/Landscape Plan: An application for a new classroom addition at property located at 18200 SR 4 North in the GOV (Government Use District) zoning district.

Motion By: _____ Vote: _____
Conditions: _____

7. Exterior Plan/Landscape Plan: An application for a new +/- 5000 sq. ft. exercise building at the existing 4 Paws Resort on property located at 454 N Maple Street in the SDI (Special District One) zoning district.

Motion By: _____ Vote: _____
Conditions: _____



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DISCUSSION ITEM:

COMMENTS OF INDIVIDUAL BOARD MEMBERS:

Pete Griffin
Virginia Golan
Tim Schacht
Ed Mickelson
Melissa Marino
Scot Draughn

ADJOURNMENT:

Time Out: _____

**DESIGN REVIEW BOARD
MINUTES OF MEETING
August 10, 2016**

MEMBERS PRESENT: Scot Draughn, Pete Griffin, Tim Schacht, Melissa Marino, Chris Runyan. Virginia Elliott- excused.

OTHERS PRESENT: Chad Flowers, Leon Troyer, Jane Herman, Jon Stafford, Don Rodman, Dimitri Smirniutopoulos, Buck Wince, Mike Stafford, Paul Gross, Jimmy Hoben, Scott Scheiderer, Bill Maggard, Jeff Pfeifer, Nieca Nowels, Ron McGlone, Ed McCall, Anthony Moronitis, Kris Mapes, Julia Anontvechrucks, Chris Howard, Ed McMillan, Will Channel, Tony Eufinger, John Connolly, A.R. Barchanowicz

MEETING CALLED TO ORDER: The meeting was called to order at 6:30 p.m.

APPROVAL OF THE MINUTES: July 13, 2016 meeting minutes were approved as submitted.

CITIZEN COMMENTS:

ADMINISTRATION COMMENTS: Mr. Flowers introduced Ed Mickelson to the Board as the new member. He also mentioned that item 5 was listed as Ascend Collection of Choice Hotels but is now listed as BSH Hospitality.

OLD BUSINESS:

NEW BUSINESS:

1. Exterior Plan/Landscape Plan: An application for a new Assisted Living and Memory Care Facility (Chestnut Crossing) on property located on the Southeast corner of Walnut Street and Professional Parkway (Extension) in the HMD (Hospital Medical District) zoning district

Mr. Maggard spoke to the Board about the project and gave a presentation. At the end of the presentation by Dimitri (contractor) it was stated that they are committed to working with City Staff on the location. They also brought samples of the trim for the board to view, and he stated they were going with the farmhouse look.

Mr. Draughn made sure that everyone saw the staff comments, and the board went through each comment with the developer to make sure they are going to follow the board/staff requirements.

Motion By: Mr. Griffin Vote: 6-0 Conditions: Approved with conditions which were discussed and agreed upon by the Board.

2. Exterior Plan/Landscape Plan: An application for a new Assisted Living Facility (Bluebird Retirement) on parcels 290 0044110020 and 290 0044110070 on Coleman's Crossing Boulevard (City Gate development) in the HMD (Hospital Medical District) zoning district.

This was being modeled off of the facility in London, Ohio. John Stafford will be building the facility in Marysville, and also built the facility in London. He has tried to address all the City's requirements in the Staff report. They showed a short video of what the facility will look like when built. The Board members asked questions of the builder to satisfy their concerns on the project. Mr. Stafford brought samples of the façade to show the board. Mr. Draughn read through the conditions that the Board had requested in order to approve the application.

Motion By: Mr. Schacht Vote: 6-0; Conditions: approved with conditions which were discussed and agreed upon by the Board.

3. Exterior Plan/Landscape Plan: An application for a new Fairfield Inn Hotel on property located at 16703 Square Drive in the TOC (Traffic Oriented Commercial) zoning district.

Mr. Draughn went through the staff requirements with the builder in detail. The Board members asked questions of the builder to satisfy their concerns on the project. Mr. Draughn read through the conditions that the Board had requested in order to approve the application.

Motion By: Mr. Runyan Vote: 6-0 Conditions: approved with conditions which were discussed and agreed upon by the Board.

4. Exterior Plan/Landscape Plan: An application for a new Sleep Inn Hotel on property located at 1001 & 1041 Lydia Drive in the TOC (Traffic Oriented Commercial) zoning district.

Leon Troyer representing the Management Company and building for the hotel. They are located in Amish Country. The building elevation has been updated to show brick. They want to have a business that looks new even after ten years. Mr. Draughn went through the City Staff comments. Mr. Troyer stated he is working with City Staff to make sure everything is up to code and their expectations of the facility.

Motion By: Mr. Griffin Vote: 6-0 tabled to next meeting.

5. Exterior Plan/Landscape Plan: An application for a new BSH Hospitality - Columbus, LLC Hotel on property located at 15620 Watkins Road in the TOC (Traffic Oriented Commercial) zoning district.

It was discussed that the contractor would switch from Australian pine to white pine; wood shadow boxes; fence will have natural finish; adjust sidewalk at pole/hydrant to make it smooth; dark bronze lights; and natural stone base sign. Mr. Draughn went through the City Staff comments in detail with the contractor. Mr. Draughn read through the conditions that the Board had requested in order to approve the application

Motion By: Mr. Griffin Vote: 6-0 Conditions: approved with conditions which were discussed and agreed upon by the Board.

6. Exterior Plan/Landscape Plan: An application for site improvements to an existing Pizza Hut on property located at 901 W Fifth Street in the BR (Business Residential) zoning district.

It was discussed about the remodel of Pizza Hut the following they would add shrubs and trees along the Grove Street parking area; close east curb out adjacent to the intersection, and black mat aluminum doors and windows. Mr. Draughn went through the City Staff comments in detail with the contractor. Mr. Draughn read through the conditions that the Board had requested in order to approve the application

Motion By: Mr. Mickleson, Vote: 6-0 Conditions: approved with conditions which were discussed and agreed upon by the Board.

7. Certificate of Appropriateness in the Historic Design Review District: An application for new signage at the Marysville Public Library located at 231 S Plum Street in the BR (Business Residential) zoning district.

Mr. Draughn went through the City Staff comments in detail with the contractor.

Motion By: Mr. Schact Vote: 6-0 Conditions: approved with conditions which were discussed and agreed upon by the Board.

8. Certificate of Appropriateness in the Historic Design Review District: An application for a new Richwood Bank on property located at the Northwest corner of E Fifth Street and Walnut Street in the B-3 (Central Business) zoning district.

The following items were discussed with the builder: Slightly wrap store front materials on drive thru with elevation; redesign columns and arch; lights black LED; low store color match – veneer wall store; scale larger size unites v. smaller store veneer; black standing metal roof, window materials will be black mat aluminum, sliver for second floor; adjust dumpster enclosure to incorporate the town run signage; staff will review benches with metal/wood slates. Mr. Draughn went through the City Staff comments in detail with the contractor. Mr. Draughn read through the conditions that the Board had requested in order to approve the application

Motion By: Ms. Marino, Vote: 6-0 Conditions: approved with conditions

9. Certificate of Appropriateness in the Historic Design Review District: An application for a new freestanding identification sign at Marysville Grace Church located at 315 W. Fifth Street in the OR (Office Residential District) zoning district.

The following was discussed regarding the historic district free standing sign: historic period type sign; architecturally compatible, not just a metal panel; add relief trim; letters pop out; posts hanging sign, lighting muted options. Mr. Draughn went through the City Staff comments in detail with the contractor. Mr. Draughn read through the conditions that the Board had requested in order to approve the application

Motion By: Mr. Griffin, Vote: 5-0 Conditions: approved with conditions. Mr. Mickleson abstained from voting.

Discussion Item:

COMMENTS OF INDIVIDUAL COMMISSIONERS:

ADJOURNMENT: The meeting was adjourned at 10:21p.m.

**SPECIAL MEETING
DESIGN REVIEW BOARD
MINUTES OF MEETING
August 18, 2016**

MEMBERS PRESENT: Scot Draughn, Pete Griffin, Tim Schacht, Melissa Marino, Chris Runyan, Virginia Elliott, Ed Mickelson

OTHERS PRESENT: Chad Flowers, Randy Riffle, Gary Lee, Charles Hall, James Mitchell, Donald Boerger, Janell Alexander, Neica Nowels, Steve Stolte, Bob Parrott, Mr. Aslaner

MEETING CALLED TO ORDER: The meeting was called to order at 6:30 p.m.

CITIZEN COMMENTS:

ADMINISTRATION COMMENTS/SOLD BUSINESS:

NEW BUSINESS:

1. Certificate of Appropriateness in the Historic Design Review District: An application to demolish the existing structure located at 238 West Sixth Street.

Mr. Draughn reviewed the conditions to approve the demolition of the structure. Mr. Stolte gave some history about the building, and how the DRB in 1998 decided that the building would come down once the Veterans Service Commission moved. Mr. Stolte explained that the bid date for the project would be August 30th. In August, 2015, Mr. Parrott toured the site with the facilities manager. The Board decided to deny the request of an extension by the Union County Historical Society. The Board discussed Historical Significance. Mr. Jim Mitchell, architect spoke to the board regarding Historical Significances, and renovations that have occurred overtime, which destroyed any historical significance. The Board reviewed National Registry list and Ohio Registration list and the property was not listed on either list.

Mr. Parrott arrived at the meeting at 7:04pm. The Board asked him about the siding underneath the vinyl siding. Mr. Lee stated it might be underneath but is was rotted and in disrepair.

Mr. Schacht discussed concerns removing a house to build a surface parking lot. He thinks planning has to be planned, parking garages/decks are also options.

Mr. Lee discussed ability and options for future parking decks.

Mr. Hall stated safety is an issue with the building.

The Board discussed Historical Significances between themselves. Mr. Parrott provided a verbal report. He stated that in 1871, Judge, one of Marysville prominent family lived/built the home.

The Board discussed the extension and decided on a one week extension to get a written copy of the report.

Motion by Mr. Griffin to table the item until August 24, 2016 to give a one week extension (August 25, 2016) to allow historical society to provide report. Vote: 7-0

Discussion Item:

COMMENTS OF INDIVIDUAL COMMISSIONERS:

ADJOURNMENT: The meeting was adjourned at 7:42p.m.

**SPECIAL MEETING
DESIGN REVIEW BOARD
MINUTES OF MEETING
August 25, 2016**

MEMBERS PRESENT: Pete Griffin, Tim Schacht, Melissa Marino, Virginia Elliott, Ed Mickelson

OTHERS PRESENT: Chad Flowers, Randy Riffle, Gary Lee, Charles Hall, James Mitchell, Donald Boerger, Janell Alexander, Neica Nowels, Steve Stolte, Bob Parrott, Mr. Aslaner

MEETING CALLED TO ORDER: The meeting was called to order at 6:30 p.m.

CITIZEN COMMENTS:

ADMINISTRATION COMMENTSOLD BUSINESS:

NEW BUSINESS:

1. Certificate of Appropriateness in the Historic Design Review District: An application to demolish the existing structure located at 238 West Sixth Street.

Mr. Stolte stated the following comments: 1. 1999 BZA discussion regarding future demolition. (Mr. Stolte had notes from the meeting). 2. Clerk of Council letter did not address future demolition.

Jim Mitchell with MA Architects, handed out a copy of the national register bulletin. He discussed the regulations on originality, and spoke of all the modifications that have occurred over time. He also stated that any historical characteristic has been lost and the original owner would not recognize the structure as it stood in 1871.

Mr. Stolte also discussed the Union County Historical Society Report and the statement that the building is on the national registry. Historically inventoried in the 1970's and submitted to the government. This building was not part of the Historic District Application. He spoke about the person who lived in the home and his opinion of making it historically significant. Mr. Stolte added that we should not have a list of people and their stories on the list but did those people have a significant role in the history. He also mentioned that the historic walking tours in Marysville, the house at 238 W. 6th Street is not part of the tour.

Mr. Gray (Assistant Union County Prosecutor) said historical is not defined in the code and there are many problems with the process of proving historical significance. He also handed out the State Historic preservation office questionnaire/evaluation.

Mr. Schacht asked about the possibility of selling the property. Mr. Stolte explained the plan has always been to demo the building. Mr. Schacht asked if the City was interested in the property. It was said that if the City was interested they would have already moved in the building.

Mr. Parrott spoke about the code and amount of properties being approved for demolition in the City. He also spoke about facts found in his report.

Donald Boerger gave the Board a letter addressing his concerns for the demolition of the property.

Is there any historical significance? Ms. Marino moved the question and it was found that there was no historic significance, by a vote of 3 to 2.

Moved to approve the demo of the structure. Moved by Ms. Marino. Application was denied in a 4 to 1 vote.

Motion to reconsider the Application for demolition, moved by Ms. Marino. Was approved by a 5 to 0 vote.

Motion to grant the Certificate of Appropriateness to demo the structure located at 238 W. Sixth Street, moved by Ms. Golan. Was approved by a 3 to 2 vote.

Discussion Item:

COMMENTS OF INDIVIDUAL COMMISSIONERS:

ADJOURNMENT: The meeting was adjourned at 7:45p.m.



Engineering, Planning and Zoning
City Hall, 209 S. Main Street
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August 31, 2016

To: City of Marysville
Design Review Board

From: Chad Flowers, City Planner

RE: Planning Staff Report – Sleep Inn

Exterior Plan/Landscape Plan: An application to construct a new hotel at property located on Lydia Drive in the TOC (Traffic Oriented Commercial) zoning district.

Applicant: Lieben Marysville, LLC
251 Daniel Burnham Square #303
Columbus, OH 43215

Owner: Connolly Construction Co.
179 Emmaus Rd., PO Box 271
Marysville, OH 43040

PROJECT HISTORY:

The applicant is proposing to construct a new (+/- 10,300 sq. ft.) Hotel on property located on Lydia Dr. (parcel numbers 2900044110110 and 2900044110100). A hotel is a permitted use in the TOC (Traffic Oriented Commercial) zoning district.

This application was first reviewed at the August 10, 2016 Design Review Board meeting where it was Tabled.

ENGINEERING STAFF ANALYSIS:

- Due to the lack of engineering detail included within this submittal, the City reserves the right to make additional comments during the Final Engineering review as part of the City's Zoning Permit process. Coordinate with the City Engineer's Office regarding the following final engineering related items:
 - Drainage calculations and design for the stormwater management system
 - Utility connections (public water and wastewater)
 - Proposed grading and drainage
 - Fire Department approval for the Fire Protection system (if applicable)
- Per City Standards, all drive approaches shall be concrete within the City's Right-of-Way.

PLANNING & ZONING STAFF ANALYSIS:

After review of the submitted application materials, the following information is to guide discussion between the Board and the applicant.

Site Plan:

The applicant's plans show setback lines on the site plan but they are incorrect. TOC zoning requires a 40'-0" front yard setback, 10'-0" side yard setback, and a 20'-0" rear yard setback. The plans, although show the incorrect setback lines on the plan, appear to meet all building and pavement setback requirements.

Landscaping:

Staff has major concerns with the proposed landscaping plan. The board may wish to discuss the layout, proposed plant material list and the thought behind the location of those plants. The proposed plan has no consistency and appears to locate plants randomly in planting beds in order to fill the area. Staff also has concerns regarding the size and spacing of the proposed plants. The proposed plans are not well thought out and do not consider plant sizes when at full maturity. Some plant material is spaced to close together, while other areas show plant material spaced to far apart. Trees and shrubs are not shown in any hierarchy for plant size on the plans.

Per City code section 1140.07 (b)(1)(B), all vehicular use areas adjacent to the public right-of-way must be screened by a 36" tall hedge, mound or fence at an 80% opacity. The applicant has provided a landscape hedge along the frontage but alternates between an evergreen and deciduous type shrub. In order to meet the screening requirement the applicant should use all evergreen shrubs of the same variety.

The Landscape plan provides a limited variety of shade tree plantings on-site. Staff recommends providing a variety of trees to protect from loss of large quantities of trees due to insect/disease. Staff also suggests replacing the *Pyrus calleryana* (Flowering Pear) with a large shade tree found on the approved City of Marysville Street Tree Planting List.

Foundation planting are scattered and have no consistency or structure. Staff suggests grouping shrubs to create hedges and massing's. Staff also suggests adding small shrubs in front of the hedges to layer the plants and add interest and depth. Staff suggests adding plant material that provides color (flowers) to add interest to the site. Staff also suggests adding foundation plantings on the north, west and east elevations.

Staff suggests not using the Pampas Grass (*Cortaderia selloana*) and Medium Juniper in the landscape plan. These plants are not pedestrian scale and are more appropriate for service and utility screening purposes.

Staff suggests using a dark hardwood mulch.

Parking & Access Drives/Pedestrian Safety:

Per code section 1141.12(f)(4)(J), 1 space per rental unit plus 1 space per employee on the largest shift for hotels and motels is required. The proposed plans show 72 rental units. The applicant has indicated that the largest shift would have 15 employees on the largest shift. The

total number of parking spaces required is 87 parking spaces, the applicant has provided 92 parking spaces meeting city code.

Storm water/Water/Sewer:

No comment – The applicant must work with the City Engineering Department to make sure all required City storm water specifications are met.

Access Management:

The site is accessed by vehicular traffic by two (2) curb-cuts off of Lydia Drive.

Building Materials & Colors (including roofing):

The applicant has provided a single building elevation for the proposed structure. Per code, building elevations for all sides of the structure must be provided. Materials on the elevation include:

Walls:	Modulo Spitafields Easyblock Brick Modulo Building Ocre Block EIFS Stucco System color Dewberry SW#6552 EIFS Stucco System color simplify Beige SW#6085
Trim:	EIFS Band Color simplify Beige SW#6085
Roof:	Not Specified
Windows:	The Material list shows Aluminum Store Front Windows and Frames but the plans do not show the window on the elevations. Vinyl Fixed Window Color Bronze
Doors:	Aluminum door and frame

The proposed project is located on property located in the TOC zoning district and is subject to code section 1144.10 Design Review Standards for Commercial and Office design review District (DRD-2).

Per code section 1144.10 building materials shall be of high quality and durability, and architectural features should be used to create visual interest and usability of the commercial or office buildings. Building facades shall be constructed with one or more of the following materials: solid wood, glass, brick, stone, stucco, decorative block or contemporary durable materials, with minimal use of vinyl, decorative aluminum or metal siding.

Facades & Exterior Walls:

No comment – See Building Materials. The applicant has provided a color rendering of the building with their application.

Fencing:

No Comment

Mechanicals:

No mechanicals are labeled on the site plan. Applicant must include mechanicals in the plans and per code 1144.10(c) all utility boxes and/or mechanical equipment (ac units) shall be screened.

Lighting:

The applicant has provided a lighting plan. Applicant is proposing to use a modern LED shoe box style light fixture. The applicant has not indicated the material, color, or height of the proposed light poles.

Outdoor Storage/Loading Areas:

The proposed plans meet all Loading space requirements.

Trash Enclosures:

The proposed plans provide a designated area for trash on-site with an eight (8) foot tall wooden fence enclosure. Per code, any trash area must meet the following requirements per section City code section 1144.10(d).

1144.10(d) Trash Enclosures. Trash containers or receptacles (including recycling containers) shall be screened or enclosed with a trash enclosure meeting the following criteria:

- (1) The trash enclosure shall have four (4) sides with opening doors for the purpose of trash removal.
- (2) The trash enclosure shall be constructed of a wooden or vinyl fence structure, or masonry wall with an opacity of one hundred percent (100 %) and a height of one foot above the top of the tallest container.
- (3) The trash enclosure shall be constructed so that the opening doors are wide enough to accommodate a garbage truck emptying and replacing the trash container or receptacle.
- (4) The building materials used for the trash enclosures shall be compatible with the building materials used on the principal building. A reinforced concrete pad and approach apron shall be constructed under and in front of the enclosed area.
- (5) Gates and doors on the enclosure shall be of a wood, vinyl, hardiplank or any alternative material the Board deems suitable. Fencing with slats is prohibited.
- (6) The location of enclosures shall be as inconspicuous as possible.

Signs:

The applicant shall work with the City Zoning Administrator to obtain appropriate signage permits.

Additional Information:

Should the submitted application be approved; the Board may wish to remind the applicant of the following:

- Applicant shall work with City Zoning, City Engineer and County Building staff to obtain all proper reviews and permits prior to the commencement of the subject project.
- Exterior Plan approval shall be for a period not to exceed two years from the approval date of the Exterior Plan. If no construction has begun within two years after approval is granted, the approved Exterior Plan shall become null and void.

Staff Comments:

City staff has reviewed the application and has many concerns and unanswered questions.

1. The applicant shall combine the parcels to create a single parcel through the applicable City and County entities.
2. Applicant show the correct setback lines on-site.
3. Applicant provide a revised landscape plan.
4. Use all evergreen shrubs for parking lot screen hedge rows.
5. Update the plant list and provide a variety of shade trees and shrubs.
6. Remove Pyrus calleryanna from the plant list.
7. Remove pampas grass from the plant list.
8. Remove medium Juniper from the plant list.
9. Use dark hardwood mulch in all planting beds.
10. Provide foundation plantings on the north, west and east building elevations.
11. Provide building elevations for all sides of the proposed structure that include building materials and colors.
12. Show and screen all building mechanicals on-site.
13. Provide light pole height, color and material information.

If you have any questions or comments about the aforementioned comments, please feel free to contact me at (937) 645-7361 or via email at cflowers@marysvilleohio.org.

Cc: J. Hoyt
R. Todd

RECEIVED

JUL 20 2016

CITY OF
MARYSVILLE



209 S. Main Street • Marysville, Ohio 43040

Phone: (937) 645-7350 • Fax: (937) 645-7351 • www.marysvilleohio.org

**DESIGN REVIEW BOARD APPLICATION
EXTERIOR PLAN / LANDSCAPE PLAN**

***** IMPORTANT INFORMATION – Please read before completing the application *****

- **Required** - An application, in writing for the approval of the Exterior Plan, together with twelve (12) copies of the Exterior Plan and the required supplementary information requested in this application.
- Applications and applicable fees shall be submitted by no later than 5:00 p.m. on the application deadline date.
- Submitted application and all checklist items shall be reviewed by City staff for completeness. Submittals found to be incomplete will be **rejected** and the application **will not** be placed on the Board agenda. If an application is found to be incomplete, the applicant may submit the missing materials by the application deadline date to complete the application.
- **No late submittals or additional information will be accepted after the application deadline.**
- Exterior work that requires approval by the Design Review Board shall not commence until approval is granted by the Design Review Board and the appropriate approved permits are obtained.

Project Site Information (Please print clearly)

Project Street Address: 1001-1041 LYDIA DR. Property Zoning District: T.O.C.

Company / Business Name: _____

Description of Proposed Project: HOTEL Sleep Inn

Owner of Property: CONNOLLY CONSTRUCTION CO.

Owner's Address (Street): 179 EMMAUS RD, PO BOX 271

City, State and Zip Code: MARYSVILLE

Owner's Telephone Number: (937) 644-8831

Applicant Information (Please print clearly)

Applicant: Lieber ~~Group~~ Marysville, LLC Owner Agent Representative Other

Company: _____

Address (street): 251 Daniel Burnham Square #303

City, State, and Zip Code: Columbus, OH 43215

Telephone Number: 614-264-2700

E-mail Address: pstrickmccaffreyjr@latmail.com

I hereby attest to the truth and exactness of all information supplied on and with this application.

Applicant's Signature: _____

Date: 7/20/16

Owner's Signature: John R. Conroy, Owner Representative

Date: 7/20/16

Received (stamp): **AID**

FOR OFFICE USE ONLY

Fees: 250⁰⁰

JUL 21 2016
CITY OF
MARYSVILLE

The application has been reviewed and is found to be complete.

City Staff

[Signature]

Date

8/2/2016

DECISION OF THE DESIGN REVIEW BOARD

- Approved
- Disapproved
- Approved with conditions (provided below)

Specific Conditions of Approval:

Chairperson, Design Review Board

Date



Marysville Sleep Inn/MainStay

Staff Shifts

General Manager: 1

Front Desk: 2

Housekeeping: 6

Breakfast: 2

Laundry: 2

Maintenance: 1

Sales: 1

The maximum amount of people per shift is 15.

SLEEP INN & SUITES

BY CHOICE HOTELS



SLEEP-INN/MAINSTAY
 LYDIA DR
 MARYSVILLE
 OHIO 43040

SHEET NUMBER	SHEET NAME
GENERAL INFORMATION	
01	TITLE SHEET - TYPICAL
CIVILS	
01	BY OTHERS
02	LANDSCAPE PLAN
03	SITE DETAILS
04	
ARCHITECTURAL	
A1	FIRST FLOOR
A2	SECOND FLOOR
A3	THIRD FLOOR
A4	FOURTH FLOOR
A5	ROOF PLAN
A6	ELEVATIONS
A7	ELEVATIONS
A8	CROSS SECTIONS
A9	STAIR SECTION
A10	ENLARGED FIRST FLOOR LEFT
A11	ENLARGED FIRST FLOOR RIGHT
A12	ENLARGED KING
A13	ENLARGED DOUBLE QUEEN
A14	ENLARGED ADA KING
A15	ENLARGED KING SUITE
A16	ENLARGED ADA DOUBLE QUEEN
A17	INTERIOR ELEVATIONS
A18	INTERIOR ELEVATIONS
A19	WALL TYPES
A20	DOOR SCHEDULE
A21	CANOPY DETAILS
A22	STAIR DETAIL PAGE
STRUCTURAL	
S1	STRUCTURAL NOTES
S2	STRUCTURAL NOTES
S3	FOUNDATION
S4	SLAB ON GRADE
S5	SECOND FLOOR
S6	THIRD FLOOR
S7	FOURTH FLOOR
S8	ROOF FRAMING
S9	FOUNDATION & SLAB DETAILS
S10	WALL SECTIONS
S11	STEEL DRAWINGS
S12	STEEL DRAWINGS
MECH/ELECT	
PLUMBING	
P1	PLUMBING NOTES
P2	FIRST FLOOR WASTE
P3	FIRST FLOOR WATER LINES
P4	1RD THRU 4TH FLOOR WATER PIPING
HVAC	
H1	TYPICAL FLOOR PLAN HVAC
H2	MAIN FLOOR HVAC
H3	HVAC DETAILS
ELECTRICAL	
E1	NOTES
E2	SITE ELECTRIC PLAN
E3	TYPICAL FLOOR POWER PLAN
E4	MAIN FLOOR LIGHTING PLAN
E5	MAIN FLOOR POWER PLAN
E6	ENLARGED GUEST RMS POWER & LIGHTING PLAN
E7	PANEL SCHEDULES

BUILDING OVERALL AREAS	NAME	AREA
FIRST FLOOR		10,302 SF
SECOND FLOOR		10,302 SF
THIRD FLOOR		10,302 SF
FOURTH FLOOR		10,302 SF
GRAND TOTAL	4	41,208 SF

DESCRIPTION	1ST	2ND	3RD	4TH	TOTAL
SLEEPING	0	0	0	0	0
SLEEPING QUEEN	2	0	7	21	29
SLEEPING SUITE	1	1	1	0	3
SLEEP ADA ROOMS	1	0	0	1	2
MAINTENANCE SUITE	3	4	4	14	25
MAINTENANCE QUEEN SUITE	2	0	0	0	2
MAINTENANCE KING SUITE	1	1	1	0	3
MAINTENANCE TOTAL	5	5	5	14	29
SLEEPING TOTAL	3	12	14	43	72
GRAND TOTAL	8	17	22	57	104

R-1	FLOOR	FL AREA PER OCCUPANT	S.F./P.	MAX
R-1	FIRST FLOOR	N/A		24 PEOPLE / 12 BEDS
	SECOND FLOOR	N/A		24 PEOPLE / 12 BEDS
	THIRD FLOOR	N/A		24 PEOPLE / 12 BEDS
	FOURTH FLOOR	N/A		24 PEOPLE / 12 BEDS
SUB-TOTAL OCCUPANT LOAD				
A-1	FIRST FLOOR (CONF. DINING)	15 S.F.	1,718	100 PEOPLE
SUB-TOTAL OCCUPANT LOAD				
A-2	FIRST FLOOR (POOL FITNESS)	50 S.F.	1,388	28 PEOPLE
SUB-TOTAL OCCUPANT LOAD				
TOTAL OCCUPANT LOAD				

SPRINKLER SYSTEM:

THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED AS PER NFPA 13 AND COMPLYING WITH LOCAL AND STATE REQUIREMENTS. PLANS AND SPECIFICATIONS. SPRINKLER SYSTEM WILL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

BUILDING DESCRIPTION:
 ENTERED SINCE AN A.F.S. SYSTEM THE BUILDING IS DESIGNED TO BE CONSTRUCTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. USES FOR THE HOTEL INCLUDE GUESTROOMS, PUBLIC OFFICES, RESTROOMS, OFFICE, WORK AREA, OFFICE, LAUNDRY, FITNESS, POOL, MEETING ROOM, ETC. STAIR ENCLOSURES ARE TO BE ISOLATED FIRE RESISTANT WALLS. BUILDING TO INCLUDE FIRE PROTECTION SYSTEMS (DETECTORS, ALARMS, SPRINKLERS, ETC.)

PROPOSED BUILDING:
 USE GROUP: HOTEL (R-1)
 TYPE OF CONSTRUCTION: (III)
 BUILDING TO BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC SPRINKLER SYSTEM.
 TOTAL AREA & HEIGHT (TABLE 603)

HEIGHT	ALLOWABLE	ACTUAL
AREA PER FLOOR	4.31 S.F./P.	4.31 S.F./P.
1ST FLOOR	16,000 S.F.	10,302 S.F.
2ND FLOOR	16,000 S.F.	10,302 S.F.
3RD FLOOR	16,000 S.F.	10,302 S.F.
4TH FLOOR	16,000 S.F.	10,302 S.F.
MAXIMUM LENGTH OF EXIT TRAVEL (TABLE 1016.1)	200 FT.	138 FT.
NUMBER OF EXITS PER FLOOR (MINIMUM TABLE 1016.1)	2	2
NUMBER OF ACCESSIBLE UNITS (R-1, TABLE 1107.6.1.1)	4	4

FIRE-RESISTANCE RATING BUILDING ELEMENTS (RIB):
 EXTERIOR WALLS: EXTERIOR - 2 HRS (MIN)
 ROOF CONSTRUCTION: NO RATING

FIRE BARRIERS:
 EXIT STAIRS - 2 HRS
 INCARCERATED AREAS - 1 HR
 (Mechanical Rooms, Electrical Rooms, Laundry Over 100 s.f. & Storage Over 100 s.f.)

FIRE PARTITIONS:
 CORRIDOR WALLS - 30 MIN
 SLEEPING UNIT SEPARATION WALLS - 30 MIN

HORIZONTAL ASSEMBLIES:
 SLEEPING UNIT FLOOR/CEILING ASSEMBLIES - 30 MIN

ROOMS TYPE:

- 4 ACCESSIBLE UNITS ARE REQUIRED
- 4 ACCESSIBLE UNITS ARE PROVIDED
- PER - OBC - 1107.6.1

GENERAL NOTES:

- ALL REFERENCES IN THIS SECTION ARE TO THE CURRENT OHIO BUILDING CODE (OBC), OHIO MECHANICAL CODE (OMC), AND THE OHIO PLUMBING CODE (OPC). ALL AREAS OF THIS BUILDING ARE TO MEET OR EXCEED THE STANDARDS REQUIRED THEREIN.
- ALL PROPOSED BUILDINGS AND STRUCTURES SHALL NOT CONTAIN HAZARDOUS MATERIALS IN EXCESS OF THE EXEMPT QUANTITIES SPECIFIED IN TABLES 307.10 AND 307.12. OBC.
- LASTING PROVIDED MEETS OR EXCEEDS THE REQUIREMENTS OF SECTION 1205 OBC.
- VENTILATION PROVIDED MEETS OR EXCEEDS SECTION 1203 OBC.
- ALL DOORWAYS SERVING AS A COMPONENT OR ELEMENT OF A GENERAL MEANS OF EGRESS SHALL COMPLY WITH SECTION 1003 OBC.
- THERMAL AND SOUND INSULATING MATERIAL SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 719 OBC.
- INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 901 OBC. INTERIOR WALL AND CEILING FINISHES TO MEET SECTION 903 AND TABLE 903.3. INTERIOR FLOOR FINISHES TO MEET SECTION 904 OBC.
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED AS REQUIRED BY THE INTERNATIONAL FIRE CODE.
- THIS BUILDING IS DESIGNED TO COMPLY WITH ALL PROVISIONS OF THE AMERICAN WITH DISABILITIES ACT (ADA) TITLE II, AND CHAPTER 117 OF THE OBC.
- BARriers - REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. AT ALL LOCATIONS AS REQUIRED IN ADA AND TITLE II AND CHAPTER 117 OF THE OBC.

REVISIONS BY

NO.	DATE	BY

DRAWN BY:

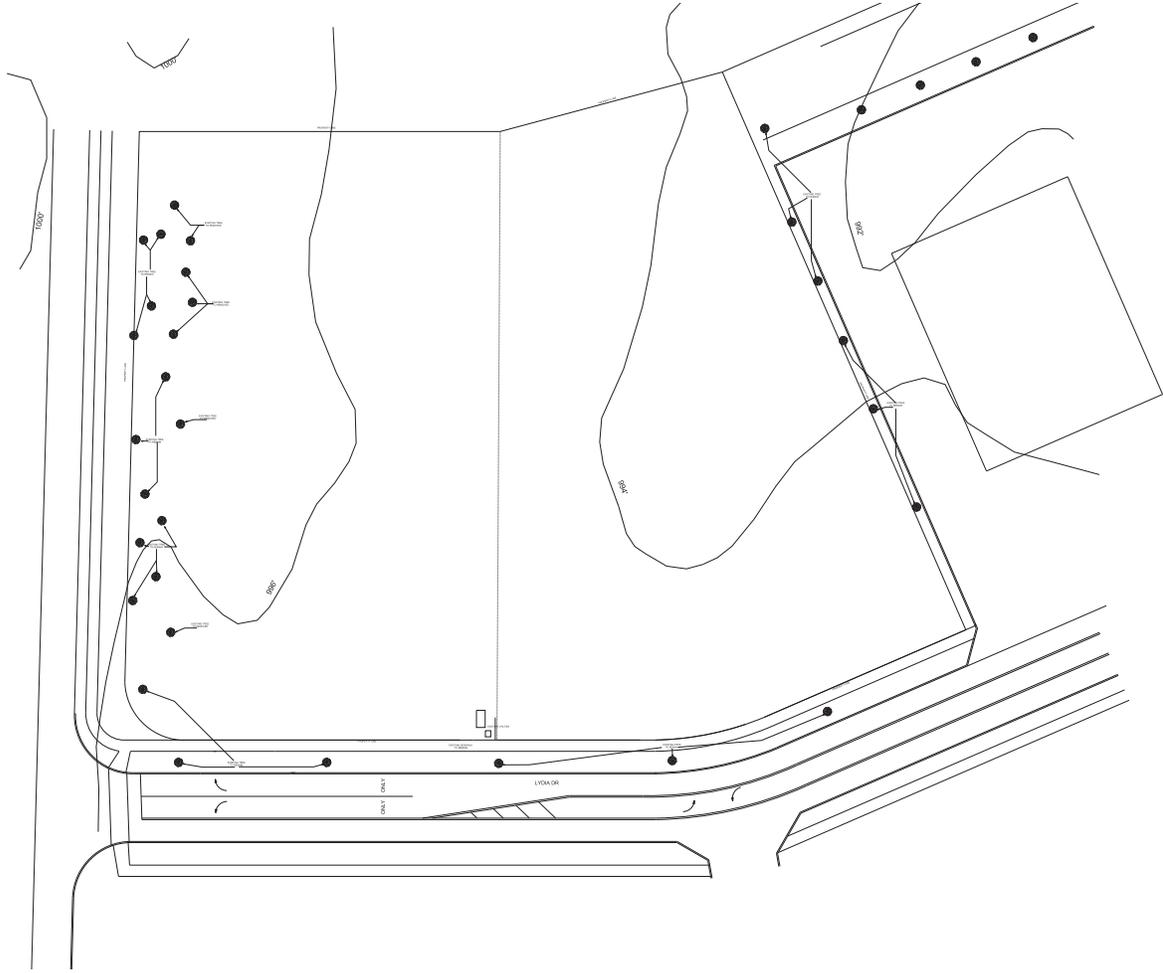
EH

DATE:

8-20-16

INDEX & PROJECT INFORMATION

T1



EXISTING SITE PLAN
SCALE: 1" = 20'-0"



WINESBURG BUILDERS DESIGN

SLEEP-INN/MAINSTAY
LYDIA DR
MARYSVILLE
OHIO 43040

REVISIONS	BY

DRAWN BY:
EH

DATE:
8-25-16

C1

1. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LANSING MICHIGAN PLANTING STANDARDS.

 2. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LANSING MICHIGAN PLANTING STANDARDS.

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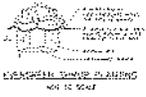
 6. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LANSING MICHIGAN PLANTING STANDARDS.

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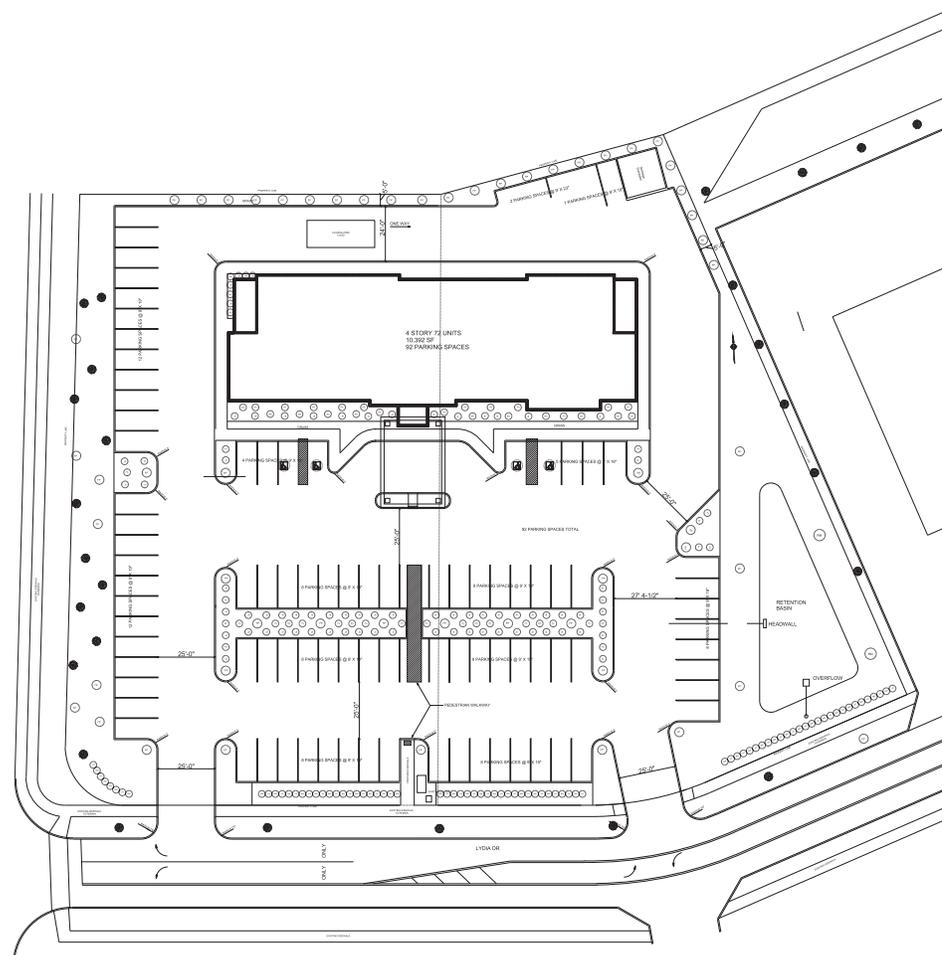
 9. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LANSING MICHIGAN PLANTING STANDARDS.

 10. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LANSING MICHIGAN PLANTING STANDARDS.



PLANT SCHEDULE			
KEY	QUANTITY	BOTANICAL COMMON NAME	SIZE
EM	49	Banksia integrifolia Green Mountain Broomrape	12"
HT	38	Hydrangea macrophylla Hydrangea Endless Summer	18"
PG	31	Pennisetum setosum Pampas Grass	Clump
JB	72	Juniperus horizontalis Broadmoor Juniper	15"
SL	2	Juniperus virginiana Medium Juniper	24"
FP	55	Pyrus calleryana Flowering Pear	2-1/2' Cal
RM	2	Acer rubrum Red Maple	2-1/2' Cal

Landscape Plan
 SCALE: 1" = 20'-0"



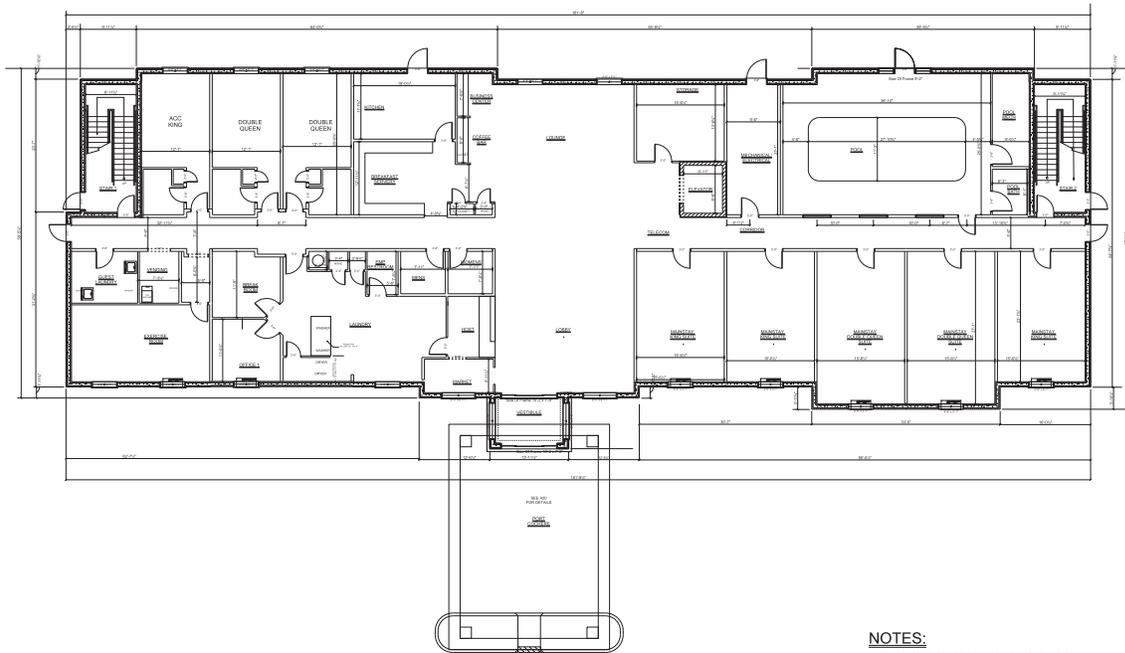
WINESBURG BUILDERS DESIGN
 Winesburg Builders Design

SLEEP-INN/MAINSTAY
 LYDIA DR
 MARYSVILLE
 OHIO 43040

REVISIONS	BY

DRAWN BY:
 EM
 DATE:
 7-25-18

LANDSCAPE PLAN
C4



- NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND JOB CONDITIONS IN FIELD.
 2. ALL EXTERIOR WALLS TO BE 11 1/4" ICF, DIMENSIONS ARE TO EXTERIOR FACE OF ICF UNITS.
 3. CORRIDOR WALLS TO BE 6" 14G 50KSI STUDS @ 16" O.C (SEE STRUCTURALS FOR DETAILS), W/IGFA TRACK TOP & BOTTOM W/3"X 6" TUBE STEEL DISTRIBUTION HEADER ABOVE.
 4. ELEVATOR WALLS TO BE 8" CMU, GROUTED, WITH #5 VERTS @ 12" O.C.



SLEEP-IN/MAINSTAY
 LYDIA DR
 MARYSVILLE
 OHIO 43040

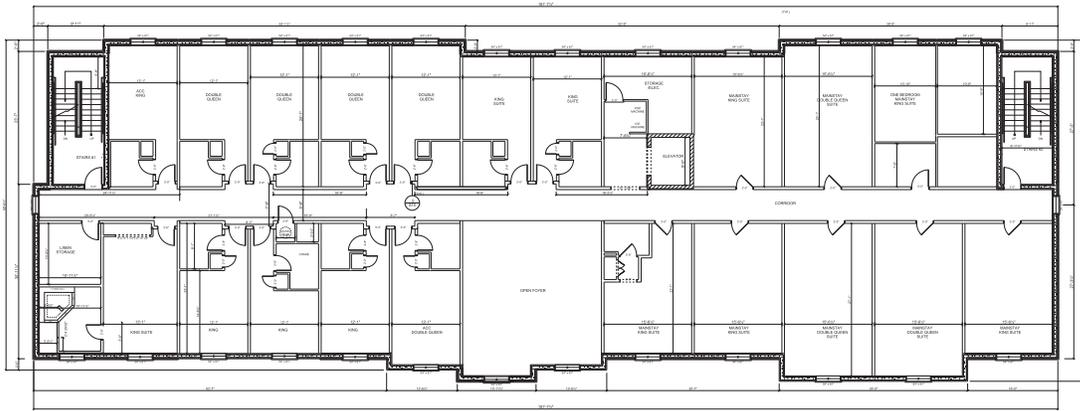
REVISIONS	BY

DRAWN BY:
EH

DATE:
8-20-16

FIRST FLOOR

A1



2nd Floor
SCALE: 1/8" = 1'-0"



NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND JOB CONDITIONS IN FIELD.
2. ALL EXTERIOR WALLS TO BE 11 1/4" ICF. DIMENSIONS ARE TO EXTERIOR FACE OF 2" UNITS.
3. CORRIDOR WALLS TO BE 6" 14G 50K51A STUDS @ 16" O.C. (SEE STRUCTURALS FOR DETAILS). W/ HANG TRACK TOP & BOTTOM W/ 8" 6" TUBE STEEL DISTRIBUTION HEADER ABOVE.
4. ELEVATOR WALLS TO BE 6" CMU, GROUTED, WITH HS VERTS @ 12" O.C.



WINESBURG BUILDERS DESIGN

SLEEP-INN/MAINSTAY
 LYDIA DR
 MARYSVILLE
 OHIO 43040

REVISIONS	BY
6/17/16	CS

DRAWN BY:
EH

DATE:
9-29-16

SECOND FLOOR
A2



SLEEP-INN/MAINSTAY
 LYDIA DR
 MARYSVILLE
 OHIO 43040

REVISIONS BY

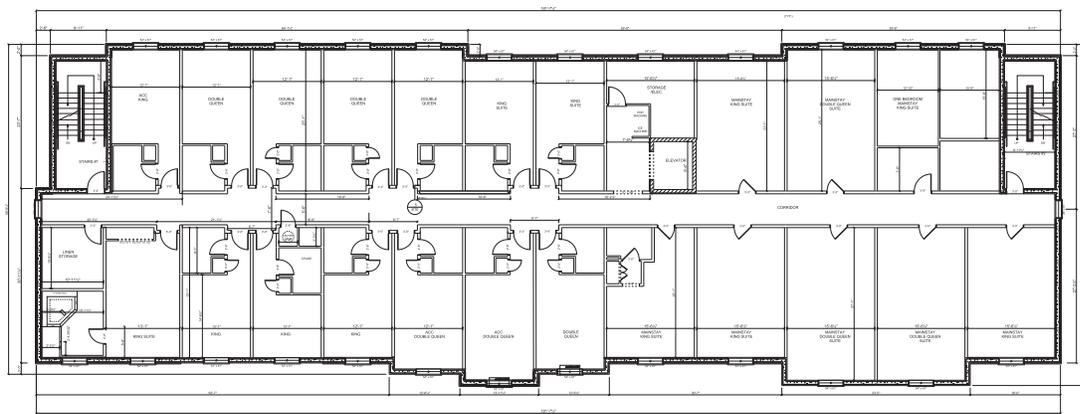
REVISIONS	BY

DRAWN BY:
EH

DATE:
7-25-16

THIRD-FOURTH
FLOOR TYPICAL

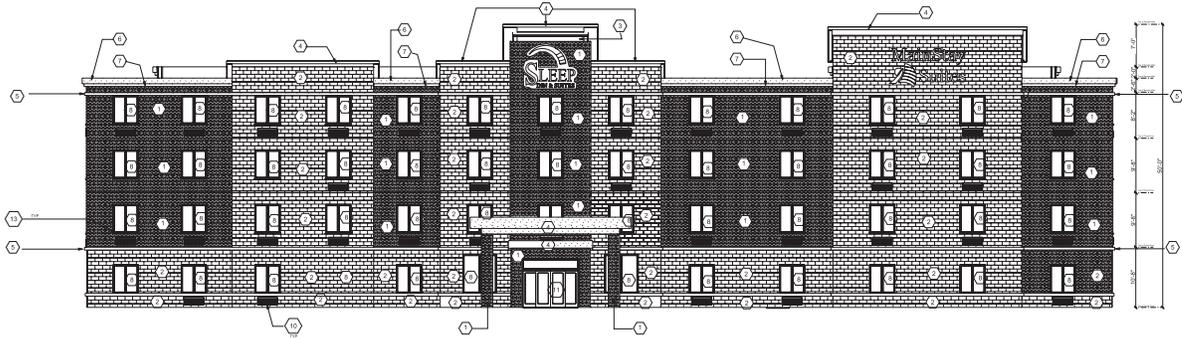
A3



3rd-4th Floor Typical
 SCALE: 1/8" = 1'-0"



MATERIAL SCHEDULE		
MARK	DESCRIPTION	SIZE
1	MODULO SPITAFIELDS EASYBLOCK BRICK	
2	MODULO BUILDING OCRE BLOCK	11-1/4"x5-1/2"
3	EIFS STUCCO SYSTEM COLOR DEWBERRY SW#6552	
4	EIFS STUCCO SYSTEM COLOR SIMPLIFY BEIGE SW#6085	
5	EIFS BAND COLOR SIMPLIFY BEIGE SW#6085	6"
6	EIFS BAND COLOR SIMPLIFY BEIGE SW#6085	12"
7	EIFS BAND COLOR SIMPLIFY BEIGE SW#6085	18"
8	VINYL FIXED WINDOW COLOR BRONZE	
9	ALUMINUM STORE FRONT WINDOW COLOR BRONZE	
10	PTAC UNIT WITH WALL SLEEVE AND LOUVER COVER	
11	ALUMINUM DOOR AND FRAME	
12	PREFINISHED SCUPPER SYSTEM WITH 4x6 DS	
13	PRECAST WINDOW SILL TBD	



Front
SCALE: 1/8" = 1'-0"

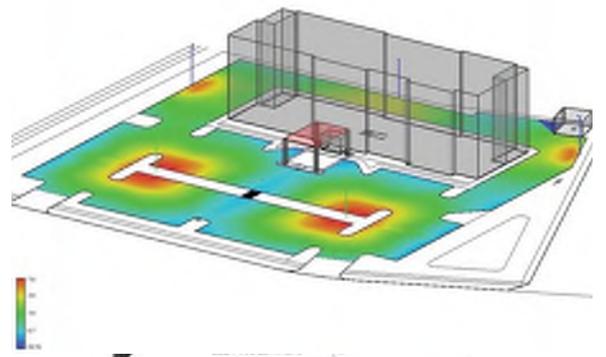
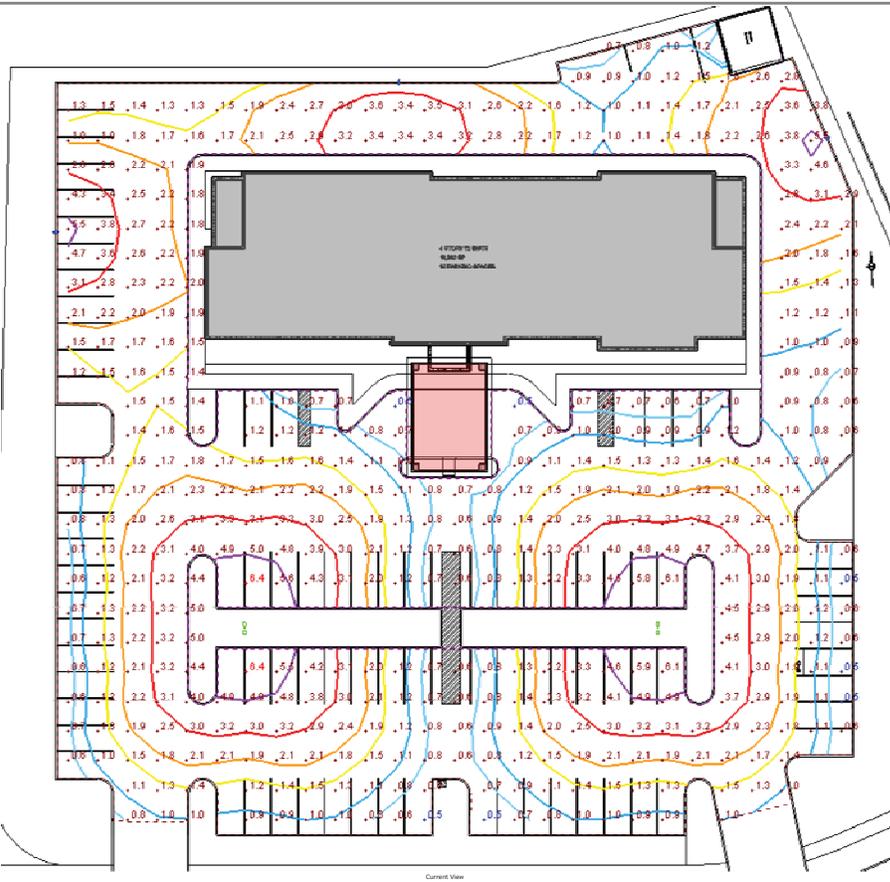


SLEEP-INN/MAINSTAY
 LYDIA DR
 MARYSVILLE
 OHIO 43040

REVISIONS	BY

DRAWN BY:
 EH
 DATE:
 9-29-16

ELEVATIONS
A6



PHOTOS

DESCRIPTION

INTRODUCTION

The luminaire design of this fixture is designed to provide uniform lighting throughout the area. The luminaire is designed to provide uniform lighting throughout the area. The luminaire is designed to provide uniform lighting throughout the area.

EXAMPLE FOR USE AND USE AND THE USE OF THE USE

Item	Quantity	Manufacturer	Model	Notes
1	1	RESURF	RESURF-1	
2	2	RESURF	RESURF-2	
3	3	RESURF	RESURF-3	
4	4	RESURF	RESURF-4	
5	5	RESURF	RESURF-5	
6	6	RESURF	RESURF-6	
7	7	RESURF	RESURF-7	
8	8	RESURF	RESURF-8	
9	9	RESURF	RESURF-9	
10	10	RESURF	RESURF-10	

Schedule	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number	Fluorescence	Lumens Per Lamp	Light Loss Factor	Wattage
A	1	2	Luminaire Lighting	OSK1 LED OSC 1500 50K 175W PROGLT	OSK1 LED with 60 LED @ 3000 MA LED 15000K, TYPE 3 SHORT OPTICS	LED	1	OSK1 LED OSC 1500 50K 175W PROGLT	22011	1	418
B	1	1	Luminaire Lighting	OSK1 LED OSC 1500 50K 175W PROGLT	OSK1 LED with 60 LED @ 3000 MA LED 15000K, TYPE 3 SHORT OPTICS	LED	1	OSK1 LED OSC 1500 50K 175W PROGLT	19495	1	138
C	2	2	Luminaire Lighting	OSK1 LED OSC 1500 50K 175W PROGLT	OSK1 LED with 60 LED @ 3000 MA LED 15000K, TYPE 4 MEDIUM OPTICS	LED	1	OSK1 LED OSC 1500 50K 175W PROGLT	22345	1	209

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	2.0 fc	6.4 fc	0.5 fc	12.8:1	4.0:1

Luminaire Locations

No.	Label	Location					Aim			
		X	Y	Z	MH	Orientation	Tilt	X	Y	Z
5	A	143.00	-50.00	25.00	25.00	0.00	0.00			
6	A	4.00	-50.00	25.00	25.00	0.00	0.00			
1	B	55.98	135.55	25.00	25.00	180.00	0.00	55.98	134.55	0.00
5	C	-60.35	84.05	25.00	25.00	90.00	0.00	-59.35	84.05	0.00
7	C	200.84	116.26	25.00	25.00	245.00	0.00	199.94	115.84	0.00



Engineering, Planning and Zoning
 City Hall, 209 S. Main Street
 Marysville, Ohio 43040-1641
 (937) 645-7350
 FAX (937) 645-7351
 www.marysvilleohio.org

August 31, 2016

To: City of Marysville
 Design Review Board

From: Chad Flowers
 City Planner

RE: Planning Staff Report – 411 W. 5th Street (Dave’s Pharmacy)

Certificate of Appropriateness in the Historic Design Review District: An application for new signage at 411 W 5th Street (Dave’s Pharmacy) in the BR (Business Residential) zoning district.

Applicant: Dave Burke, Dave’s Pharmacy
 411 W 5th Street
 Marysville, OH 43040

Owner: Dave Burke
 411 W 5th Street
 Marysville, OH 43040

PROJECT HISTORY:

The applicant is proposing to install a new 40” diagonal video screen (TV) that plays the pharmacy health network to customers in the drive-thru line. The proposed is a breakdown of the proposed signage:

Sign Type	Sign Location	Number of Signs	Sign Size
Wall sign (monitor)	South Elevation	1	40”

PLANNING & ZONING STAFF ANALYSIS:

After review of the submitted application materials, the following information is to guide discussion between the Board and the applicant.

Wall Identification Sign:

It appears that the appearance of the proposed sign meets the intent of both the Design Guidelines for Historic Uptown Marysville and the Planning & Zoning Code, unless otherwise noted:

Sign material: treated wood unit to house 40” TV monitor
 Lettering: N/A
 Sign colors: Wood unit painted to match building
 Sign lighting: N/A
 Sign mounting: on building, bracket mounted

Additional Information:

- This property is located in the Historical Uptown Marysville Design Review District. Signage in this district is unique due to the neighborhoods character, architecture integrity and historical detailing. Staff has concerns with the proposed sign not fitting the character or matching the time period of the Historic District. Staff suggests the Board discuss this with the applicant and between its members.
- The applicant shall coordinate with the City Zoning Administrator to ensure the proposed signage meets all code requirements (Square footage, size, etc.) and to apply for the appropriate signage permits.

Should the submitted application be approved; the Board may wish to remind the applicant of the following:

- *Applicant shall work with City Zoning and County Building staff to obtain all proper reviews and permits prior to the commencement of the subject project.*
- *Exterior Plan approval shall be for a period not to exceed two years from the approval date of the Exterior Plan. If no construction has begun within two years after approval is granted, the approved Exterior Plan shall become null and void.*

If you have any questions or comments about the aforementioned comments, please feel free to contact me at (937) 645-7361 or via email at cflowers@marysvilleohio.org.

Cc: J. Hoyt
R. Todd



209 South Main Street • Marysville, Ohio 43040
Phone: (937) 645-7350 • Fax: (937) 645-7351 • www.marysvilleohio.org

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS IN THE HISTORIC DESIGN REVIEW DISTRICT

*** IMPORTANT INFORMATION – Please read before completing the application ***

- **Required** - Submission of a complete application, including all of the items listed in the application checklist.
- Applications and applicable fees shall be submitted by no later than 5:00 p.m. on the application deadline date.
- Submitted application and all checklist items shall be reviewed by City staff for completeness. Submittals found to be incomplete will be **rejected** and the application **will not** be placed on the Board agenda. If an application is found to be incomplete, the applicant may submit the missing materials by the application deadline date to complete the application.
- **No late submittals or additional information will be accepted after the application deadline.**
- Exterior work that requires approval by the Design Review Board shall not commence until approval is granted by the Design Review Board and the appropriate approved permits are obtained.

Project Site Information (Please print clearly)

Project Street Address: 411 W 5th St Property Zoning District: BR
Company / Business Name: Dave's Pharmacy
Description of Proposed Project: 40" Diagonal video screen (TV) that plays The Pharmacy Health Network to customers in drive-thru line.
Owner of Property: Dave Burke
Owner's Address (Street): 860 Wedgewood Dr
City, State and Zip Code: Marysville, Ohio 43040
Owner's Telephone Number: 937-243-4333

Applicant Information (Please print clearly)

Applicant: Dave Burke Owner Agent Representative Other
Company: Dave's Pharmacy
Address (street): 411 W 5th St
City, State, and Zip Code: Marysville, Ohio 43040
Telephone Number: 937-243-4333
E-mail Address: davespharmacy@yahoo.com

		Color photographs of the present façade of each exterior wall of the building in which the proposed sign(s) will be attached
		Location map of the property, which includes a north arrow, that shows with the location(s) of the proposed signs
		If the sign(s) are to be illuminated, include the location, style, height, color and intensity of the proposed lighting for the site.
		* PLEASE BRING MATERIAL SAMPLES TO THE MEETING

I hereby attest to the truth and exactness of all information supplied on and with this application.

Signature of Applicant: _____

Date: _____

Signature of Owner: _____

Date: _____

FOR OFFICE USE ONLY

Received (stamp): _____

Fees: _____

The application has been reviewed and is found to be complete.

City Staff

Date

DECISION OF THE DESIGN REVIEW BOARD

Approved

Disapproved

Approved with conditions (provided below)

Specific Conditions of Approval:

Chairperson, Design Review Board

Date

Dave's Pharmacy Signage Request

Description of Work:

This request is for the mounting of a case enclosed outside monitor (40 inch diagonal approx. display area) that would show The Pharmacy Health Network to customers stopped and waiting in the drive-thru line. The display, due to the case and the physical location of the display, would not be viewable from the road or parking area, only the drive-thru line. The display is video only and has no sound. The Pharmacy Health Network currently plays on a 35 inch diagonal monitor inside the pharmacy at the pick-up location. The network runs health information, better living tips and banner ads built by Dave's Pharmacy that display public information such as store hours and services offer at our location. The network/display only runs during store hours and is dark during non-store hours.

The housing for the display is a treated wood unit (back and sides) that has a clear Lexan panel front that is channel set. The wood is painted/sealed to match the building. The housing measures 29 inches tall, 45 inches long and is 6 inches deep. The front facing wood frame of the unit is 1&1/2 inch thick. Additionally, the housing has weather resistant venting to control the internal moisture and temperature of the enclosed monitor, which is bracket mounted inside the housing. The entire unit is GFI protected. Also given the deep soffit over the unit, additional protection naturally is added.

The monitor displaying the channel is to be an approximate 40 inch diagonal LCD display. Again, the unit only displays during store hours (M- F 8am-7:30pm and Saturday 8am-3pm) and is visible only to customers in the drive-thru lane.

N ↑

Requested Location

13.35'

CAUTION OVERHEAD WIRE

30'R

DRIVE THRU LANE

12.10'

15.70'

11.00'

C.O.

20'R

12' INGRESS-EGRESS EASEMENT



RELOCATE DUMPSTER DOORS ON EXISTING ENCLOSURE

9.00'

E-EHE

8'R

BM#1

EXISTING BUILDING
DAVE'S PHARMACY
FF=1005.27

A/C PAD

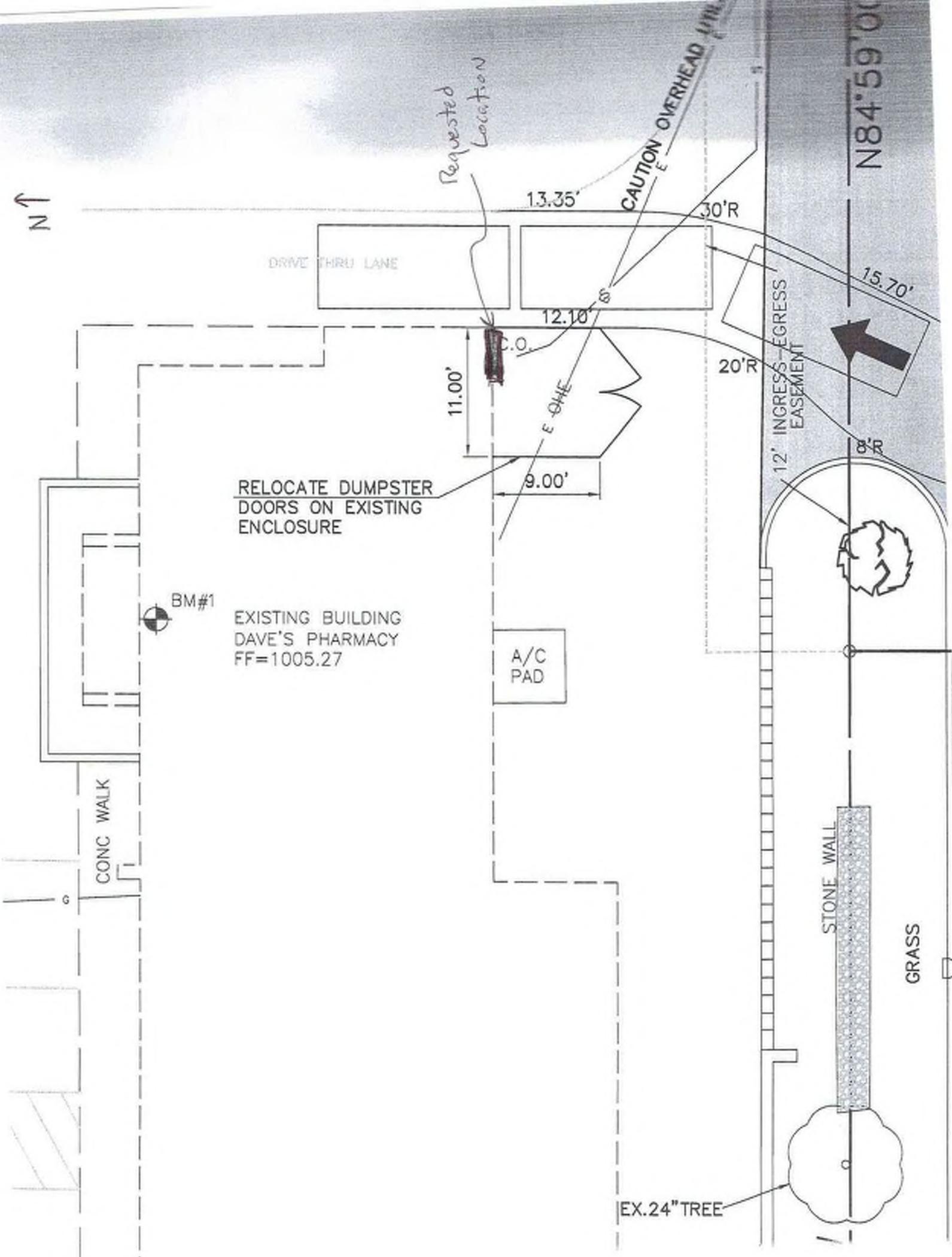
CONC WALK

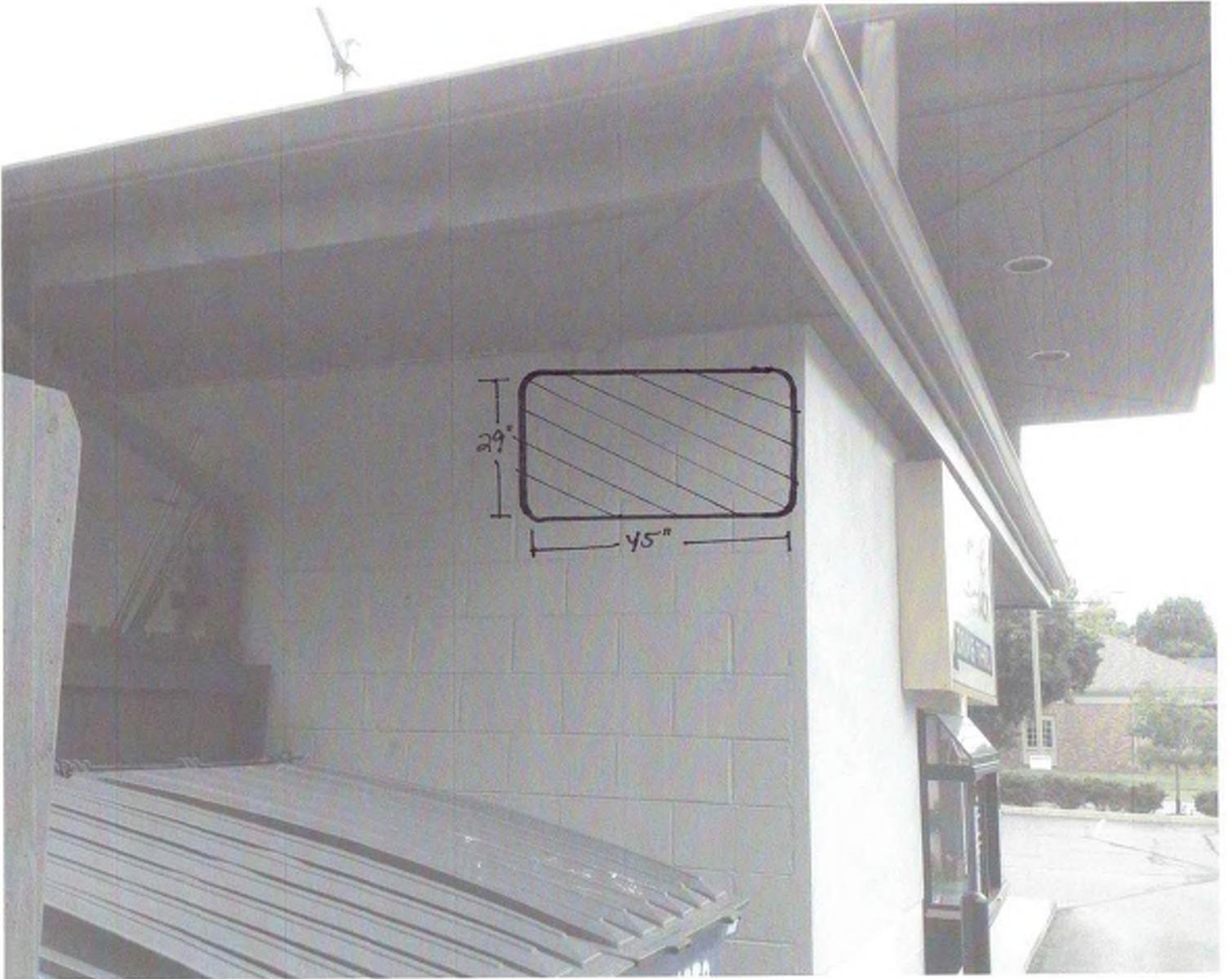
STONE WALL

GRASS

EX. 24" TREE

N84°59'00"









Engineering, Planning and Zoning
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(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 7, 2016

To: City of Marysville
Design Review Board

From: Chad Flowers
City Planner

RE: Planning Staff Report – Primrose School

Exterior Plan/Landscape Plan: An application for a new early childhood education center with playground equipment (Primrose School) on property fronting Mill Road and Cobblestone Way in the B-1 (Service Business) zoning district.

Applicant: Stephen Butler
Community Civil Engineers, LLC
24401 Dayton Xenia Road Ste. B
Beaver Creek, Ohio 45434

Owner: Mary Elizabeth Twigg, c/o David Martsook
280 N High Street, FL. 17th
Columbus, Ohio 43215

PROJECT HISTORY:

The applicant is proposing to construct a new early childhood education center with playground equipment (Primrose School) on property fronting Mill Road and Cobblestone Way in the B-1 (Service Business) zoning district. An Early childhood education center is a permitted use in the B-1 (Service Business district) zoning district.

Location:

The property is located in the B-1 (Service Business district) zoning district. Property located to the north and west are zoned R-2 (Medium Density Single Family Residential). Property located to the east and south are located in the B-1 zoning district.

ENGINEERING STAFF ANALYSIS:

- Due to the lack of engineering detail included within this submittal, the City reserves the right to make additional comments during the Final Engineering review as part of the City's Zoning Permit process. Coordinate with the City Engineer's Office regarding the following final engineering related items:

- Drainage calculations and design for the stormwater management system
- Utility connections (public water and wastewater)
- Proposed grading and drainage
- Fire Department approval for the Fire Protection system (if applicable)
- A tree lawn area shall be provided between the curb and sidewalk along Cobblestone Way.
- The City's is still reviewing the proposed entrance (right-in only vs. right-in / right-out) off Mill Road and will provide clarification on the desired entrance once determined.

PLANNING & ZONING STAFF ANALYSIS:

After review of the submitted application materials, the following information is to guide discussion between the Board and the applicant.

Site Plan:

The Proposed building meets all setback requirements.

The applicant is proposing multiple outdoor playground equipment units on-site, but has not provided details or information related to the colors, shape, size or materials. Staff suggests using earth tone colors on all of the proposed equipment. The applicant shall submit detailed drawings for each outdoor playground equipment that includes all Colors, shape, size and material information.

The applicant is also proposing to install an outdoor splash pad, but has not provided details or information related to the colors, shapes, size or materials. The applicant shall submit detailed drawings for each outdoor playground equipment that includes all Colors, shape, size and material information.

Landscaping:

All landscape planting requirements have been met.

Parking & Access Drives/Pedestrian Safety:

Per code section 1141.12(f)(2)(d), 1 space per employee plus 1 space per 5 children at capacity. An application has been submitted to the Board of Zoning Appeals for a reduced parking requirement. The BZA application states that at capacity, 218 students will be onsite. The applicant has not provided the number of teachers, so planning staff cannot adequately calculate the required parking on-site. According to the BZA application, the Applicant would require 66 parking spaces on-site. The applicant is proposing to provide 43 spaces on-site

The applicant will need to receive an approval from the Board of Zoning Appeals in order for the site plan to meet code.

Proposed sidewalk is also located along the entire street frontage of Cobblestone Way and Mill Road.

Stormwater:

No comment – The applicant must work with the City Engineering Department to make sure all required City stormwater specifications are met.

Access Management:

The site is accessed by a private roadway, cobblestone way and by a right-in right-out curb cut on Mill Road.

Per section 1144.10 (b)(4) walkways between the public sidewalks and the building entrances shall be provided. The current plans show a sidewalk connection between the Cobblestone Way sidewalk and the front entrance. This sidewalk also connects onto the proposed Mill Road sidewalk.

Building Materials & Colors (including roofing):

The applicant has provided the north, south, east and west elevations for the proposed building. Materials on the elevations include:

Walls:	Brick: Mount Vernon Modular w/Buff colored mortar grout Stone: Lonestar Stone- Liberty Classic, autumn. Grout: Buff
Shutters	Board and Batton Style, Color: green
Trim:	Wood, color: sandstone beige JH30-20
Roof:	Standing Seam metal, aep-span snapseam-12”, color: dark bronze Asphalt shingles, timberline series color: weathered wood
Windows:	Material not specified, color: almond or beige
Doors:	Material not specified, color: sandstone beige

The proposed project is located on property located in the B-1 zoning district and are subject to code section 1144.10 Design Review Standards for Commercial and Office design review District (DRD-2).

Per code section 1144.10 building materials shall be of high quality and durability, and architectural features should be used to create visual interest and usability of the commercial or office buildings. Building facades shall be constructed with one or more of the following materials: solid wood, glass, brick, stone, stucco, decorative block or contemporary durable materials, with minimal use of vinyl, decorative aluminum or metal siding.

Code section 1144.10(a)(1) requires a minimum of forty percent (40%) decorative treatment, of the facades of buildings to incorporate brick, brick veneer, stone, stone veneer, split face block, stucco, glass, decorative block, EIFS or other contemporary durable materials that have the appearance of stone, brick or stucco or other natural materials.

The proposed plans/elevations meet the 40% decorative finish requirement

Facades & Exterior Walls:

No comment – See Building Materials. The applicant has provided a color rendering of the building with their application.

Fencing:

The applicant has proposed to install fencing in the front and rear of the proposed structure. The plans do not provide a detail for the proposed fence. The applicant will need to provide all fencing details for review and approval. Staff would suggest that all fencing be decorative and black in color. Per City Code fencing is not to be located in the front yard setback. The applicant

has applied to the Board of Zoning Appeals to allow fencing in the front yard setback. The applicant will be required to receive approval from the BZA for final zoning approval.

Mechanicals:

No mechanicals are labeled on the site plan. Applicant must include mechanicals in the plans and per code 1144.10(c) all utility boxes and/or mechanical equipment (ac units) shall be screened.

Lighting:

The applicant has provided a lighting plan. Applicant is proposing to use a dark bronze modern LED shoe box style light fixture. The applicant has not included any pole height, material, or color information on the proposed light poles

Outdoor Storage/Loading Areas:

The proposed plans meet all Loading space requirements.

Trash Enclosures:

The proposed plans label the dumpster enclosure as a ‘masonry trash enclosure’, but no details have been provided. The applicant shall provide detailed elevations of the dumpster enclosure.

Per code, any trash area must meet the following requirements per section City code section 1144.10(d).

1144.10(d) Trash Enclosures. Trash containers or receptacles (including recycling containers) shall be screened or enclosed with a trash enclosure meeting the following criteria:

- (1) The trash enclosure shall have four (4) sides with opening doors for the purpose of trash removal.
- (2) The trash enclosure shall be constructed of a wooden or vinyl fence structure, or masonry wall with an opacity of one hundred percent (100 %) and a height of one foot above the top of the tallest container.
- (3) The trash enclosure shall be constructed so that the opening doors are wide enough to accommodate a garbage truck emptying and replacing the trash container or receptacle.
- (4) The building materials used for the trash enclosures shall be compatible with the building materials used on the principal building. A reinforced concrete pad and approach apron shall be constructed under and in front of the enclosed area.
- (5) Gates and doors on the enclosure shall be of a wood, vinyl, hardiplank or any alternative material the Board deems suitable. Fencing with slats is prohibited.
- (6) The location of enclosures shall be as inconspicuous as possible.

Signs:

The applicant shall work with the City Zoning Administrator to obtain appropriate signage permits.

Additional Information:

Should the submitted application be approved; the Board may wish to remind the applicant of the following:

- Applicant shall work with City Zoning, City Engineer and County Building staff to obtain all proper reviews and permits prior to the commencement of the subject project.
- Exterior Plan approval shall be for a period not to exceed two years from the approval date of the Exterior Plan. If no construction has begun within two years after approval is granted, the approved Exterior Plan shall become null and void.

Staff Recommendation:

City staff has worked with the applicant through the design phase of the project. Staff recommends that the Design Review Board ‘Approve’ the application with the following conditions:

1. The applicant receive approval from the Board of Zoning Appeals to allow a fence in the front yard setback.
2. The applicant receive approval from the Board of Zoning Appeals to allow a reduction in total parking required on-site.
3. The applicant shall submit detailed drawings for each outdoor playground equipment that includes all Colors, shape, size and material information.
4. The applicant shall submit detailed drawings for the proposed splash pad for review.
5. The applicant shall provide a tree lawn between the curb and sidewalk along Cobblestone Way.
6. Applicant provide all proposed fencing details.
7. Applicant label and screen any mechanical equipment on-site.
8. Applicant provide light pole details.
9. Applicant provide dumpster enclosure details.

If you have any questions or comments about the aforementioned comments, please feel free to contact me at (937) 645-7361 or via email at cflowers@marysvilleohio.org.

Cc: J. Hoyt
R. Todd



209 S. Main Street • Marysville, Ohio 43040
Phone: (937) 645-7350 • Fax: (937) 645-7351 • www.marysvilleohio.org

**DESIGN REVIEW BOARD APPLICATION
EXTERIOR PLAN / LANDSCAPE PLAN**

*** IMPORTANT INFORMATION – Please read before completing the application ***

- **Required** - Submission of a complete application, including all of the items listed in the application checklist.
- Applications and applicable fees shall be submitted by no later than 5:00 p.m. on the application deadline date.
- Submitted application and all checklist items shall be reviewed by City staff for completeness. Submittals found to be incomplete will be **rejected** and the application **will not** be placed on the Board agenda. If an application is found to be incomplete, the applicant may submit the missing materials by the application deadline date to complete the application.
- **No late submittals or additional information will be accepted after the application deadline.**
- Exterior work that requires approval by the Design Review Board shall not commence until approval is granted by the Design Review Board and the appropriate approved permits are obtained.

Project Site Information (Please print clearly)

Project Street Address: 1600 COBBLESTONE WAY Property Zoning District: B-1
Company / Business Name: _____
Description of Proposed Project: An early childhood education center with playground equipment.
Owner of Property: Mary Elizabeth Twigg c/o David Hartscock
Owner's Address (Street): 280 N High St., 17th Stree
City, State and Zip Code: Columbus, Ohio 43215
Owner's Telephone Number: 614 459 9400

Applicant Information (Please print clearly)

Applicant: Stephen Butler Owner **Agent** Representative Other
Company: Community Civil Engineers, LLC
Address (street): 2440 Dayton Xenia Rd, Ste B
City, State, and Zip Code: Beaver Creek Ohio 45434
Telephone Number: 937 490 9460
E-mail Address: sbutler@communitycivilengineers.com

I hereby attest to the truth and exactness of all information supplied on and with this application.

Applicant's Signature: _____

Date: _____



8/23/16

Owner's Signature: _____

Date: _____

FOR OFFICE USE ONLY

Received (stamp): _____

Fees: _____

The application has been reviewed and is found to be complete.

City Staff

Date

DECISION OF THE DESIGN REVIEW BOARD

Approved

Disapproved

Approved with conditions (provided below)

Specific Conditions of Approval:

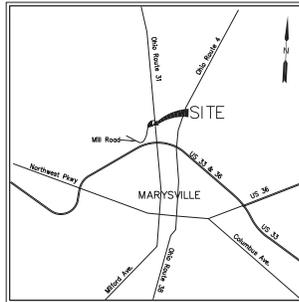
Chairperson, Design Review Board

Date

PRIMROSE SCHOOL OF MARYSVILLE



ZONED B-1
1600 COBBLESTONE WAY
CITY OF MARYSVILLE
UNION COUNTY OHIO



VICINITY MAP
NO SCALE



USGS MAP
SCALE: 1" = 2,000'

INDEX OF SHEETS

TITLE SHEET	C1
EXISTING FEATURES & TREE PLAN	C2
SITE PLAN	C3
UTILITY PLAN	C4
GRADING PLAN	C5
LIGHTING AND PHOTOMETRIC PLAN	PM1.0
SITE LANDSCAPE PLAN	L1
FLOOR PLAN	A1.0
EXTERIOR ELEVATIONS	A2.0

CIVIL ENGINEER

CCE
Community Civil Engineers, LLC
2445 DUTTON-JONES ROAD, SUITE B
MARIETTA, OHIO 45754
TEL: 607.460.9460 FAX: 607.426.9790

ARCHITECT:

ALT
architecture inc.
Architecture • Engineering
Interior Architecture • Planning
• design
2445 Dutton-Jones Road
Marietta, OH 45754
937.427.2770 • info@altarchitecture.com

OWNER

Mary E. Joseph Taylor
220 N. Canal Street
P.O. Box Franklin CSBE
280 N. 1st Street, 17th Street
Columbus, OH 43215
Phone: 614.464.5800
Dak@franklin@CSBE.com

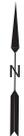
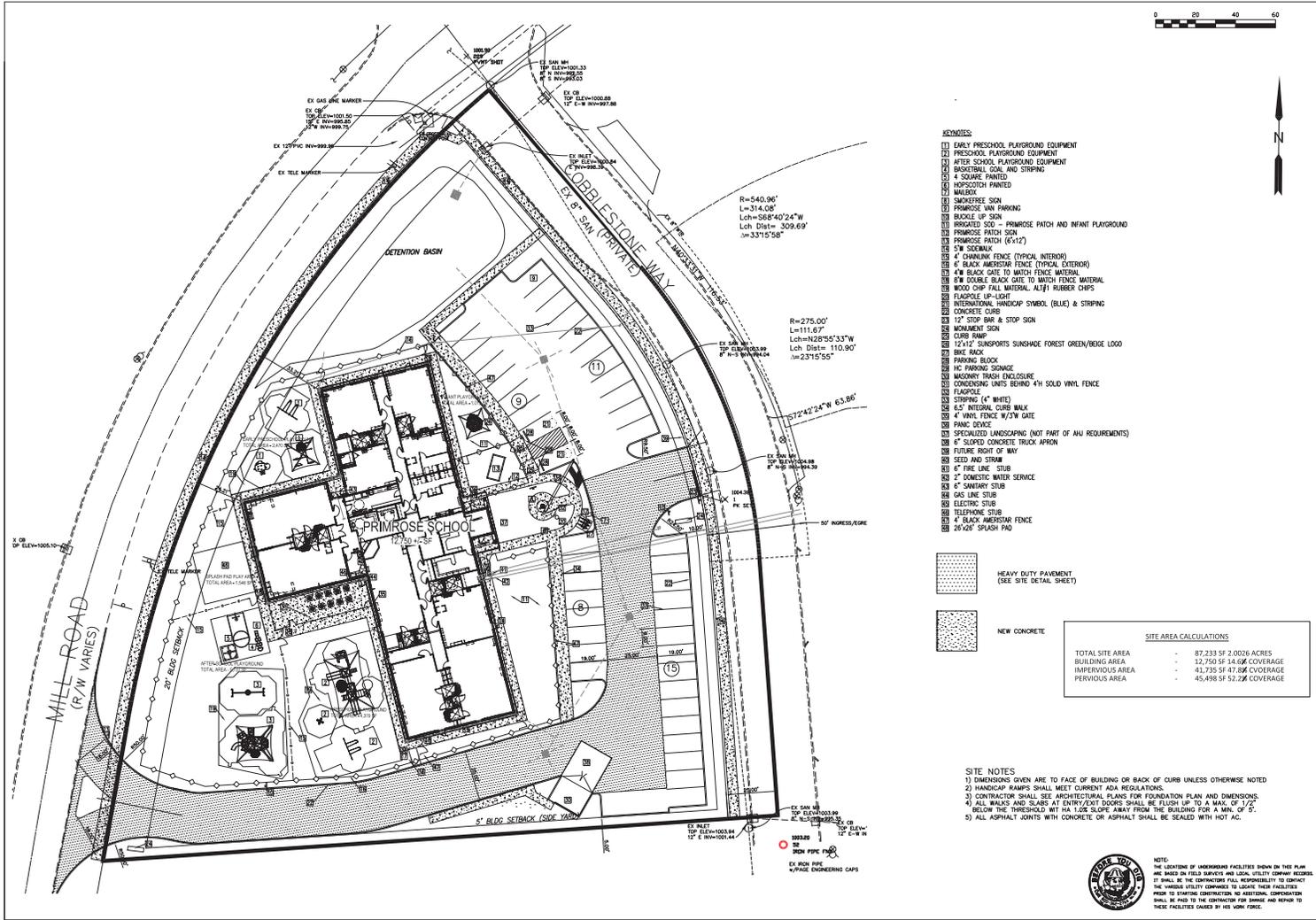
SURVEYOR

WE
VANATAENGINEERINGINC
225 GARDNER BLVD., SUITE 201-6000
Piquette, OH 45356
Phone: 937.426.9600
Fax: 937.426.9600



NOTE:
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE UTILITY COMPANY TO LOCATE THEIR FACILITIES PRIOR TO THE START OF CONSTRUCTION. NO ASSURANCE OR GUARANTEE SHALL BE MADE TO THE CONTRACTOR FOR DAMAGE AND HARM TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

REVISIONS	
PREPARED FOR:	PRIMROSE SCHOOLS 3460 COMBUST ROAD MARIETTA, OHIO 45754 TEL: 773.225.4700 FAX: 773.225.4700
PREPARED BY:	CCE Community Civil Engineers, LLC 2445 DUTTON-JONES ROAD, SUITE B MARIETTA, OHIO 45754 TEL: 607.460.9460 FAX: 607.426.9790
TITLE SHEET	PRIMROSE SCHOOL 1600 COBBLESTONE WAY CITY OF MARYSVILLE UNION COUNTY, OHIO 43040
DATE:	07/01/2014
SCALE:	C1
DATE:	07/01/2014



NOTES:

- 1) EARLY PRESCHOOL PLAYGROUND EQUIPMENT
- 2) PRESCHOOL PLAYGROUND EQUIPMENT
- 3) AFTER SCHOOL PLAYGROUND EQUIPMENT
- 4) BASKETBALL GOAL AND STRIPING
- 5) 4 SQUARE PAINTED
- 6) HOPSCOTCH PAINTED
- 7) HOPSCOTCH PAINTED
- 8) SMOKEFREE SIGN
- 9) PRIMOISE VAN PARKING
- 10) BUCKLE UP SIGN
- 11) IRREGULAR SIGN - PRIMOISE PATCH AND INFANT PLAYGROUND
- 12) PRIMOISE PATCH SIGN
- 13) PRIMOISE PATCH (6'x12')
- 14) 5'W SIDEWALK
- 15) 4' CHAINLINK FENCE (TYPICAL INTERIOR)
- 16) 6' BLACK IRONSTEEL FENCE (TYPICAL EXTERIOR)
- 17) 4'W BLACK GATE TO MATCH FENCE MATERIAL
- 18) 6'W DOUBLE BLACK GATE TO MATCH FENCE MATERIAL
- 19) WOOD CHIP FALL MATERIAL, ALI#1 RUBBER CHIPS
- 20) FLUORESC UP-LIGHT
- 21) INTERNATIONAL HANDICAP SYMBOL (BLUE) & STRIPING
- 22) CONCRETE CURB
- 23) 1/2" STOP BAR & STOP SIGN
- 24) MONUMENT SIGN
- 25) CURB RAMP
- 26) 12"x12" SUNSPORTS SUNSHADE FOREST GREEN/BEIGE LOOD
- 27) SWEE RACK
- 28) PARKING BLOCK
- 29) HC PARKING SIGNAGE
- 30) MASONRY TRASH ENCLOSURE
- 31) CONDENSING UNITS BEHIND 4" SOLID VINYL FENCE
- 32) FLUORESC
- 33) STRIPING (4" WHITE)
- 34) 6" INTERIOR CURB WALK
- 35) 4" VINYL FENCE W/3" GATE
- 36) PANE DEVICE
- 37) SPECIOLIZED LANDSCAPING (NOT PART OF AUI REQUIREMENTS)
- 38) 6" SLOPED CONCRETE TRUCK APRON
- 39) FUTURE RIGHT OF WAY
- 40) SEED AND STRAW
- 41) 6" FIRE LINE STUB
- 42) 2" DOMESTIC WATER SERVICE
- 43) 6" SANITARY STUB
- 44) GAS LINE STUB
- 45) ELECTRIC STUB
- 46) TELEPHONE STUB
- 47) 4" BLACK IRONSTEEL FENCE
- 48) 26'x26" SPLASH PAD

HEAVY DUTY PAVEMENT
(SEE SITE DETAIL SHEET)

NEW CONCRETE

SITE AREA CALCULATIONS	
TOTAL SITE AREA	87,233 SF 2.0226 ACRES
BUILDING AREA	22,750 SF 0.5186 COVERAGE
IMPERVIOUS AREA	41,735 SF 0.9486 COVERAGE
PERVIOUS AREA	45,498 SF 0.1034 COVERAGE

SITE NOTES

- 1) DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR BACK OF CURB UNLESS OTHERWISE NOTED
- 2) HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS
- 3) CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN AND DIMENSIONS
- 4) ALL WALKS AND SLABS AT ENTRY/EXIT DOORS SHALL BE FLOUN UP TO A MAX. OF 1/2" BELOW THE THRESHOLD WITH A 1:6 SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 6'
- 5) ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC.



NOTE:
THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

REVISIONS

NO.	DATE	DESCRIPTION

PRIMROSE SCHOOLS
3400 COLUMBIAN BLVD
MARIETTA, OHIO 44130
TEL: 330.920.0000 FAX: 330.920.0000

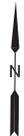
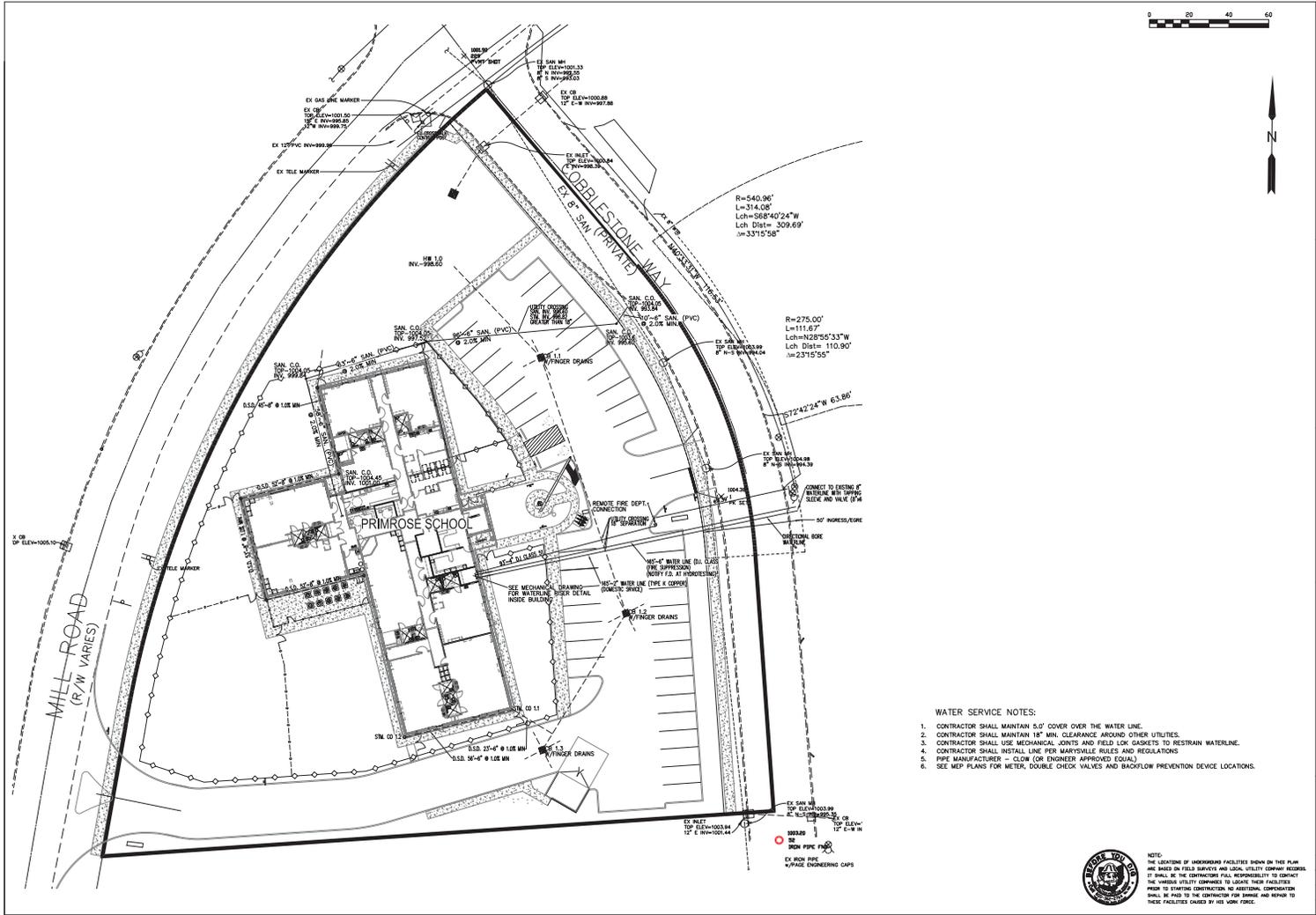
OCF
COMMUNITY COLLABORATION FOUNDATION, LLC
8440 DARTMOUTH DRIVE, SUITE 10
MARIETTA, OHIO 44130
TEL: 330.920.0000 FAX: 330.920.0000

SITE PLAN
PRIMROSE SCHOOL OF MARYSVILLE
1600 COBBLESTONE WAY
MARIETTA, OHIO 44130
UNION COUNTY, OHIO 43040

DATE: 03/24/2016

DRAWN: **C3**

JOB # 14-03



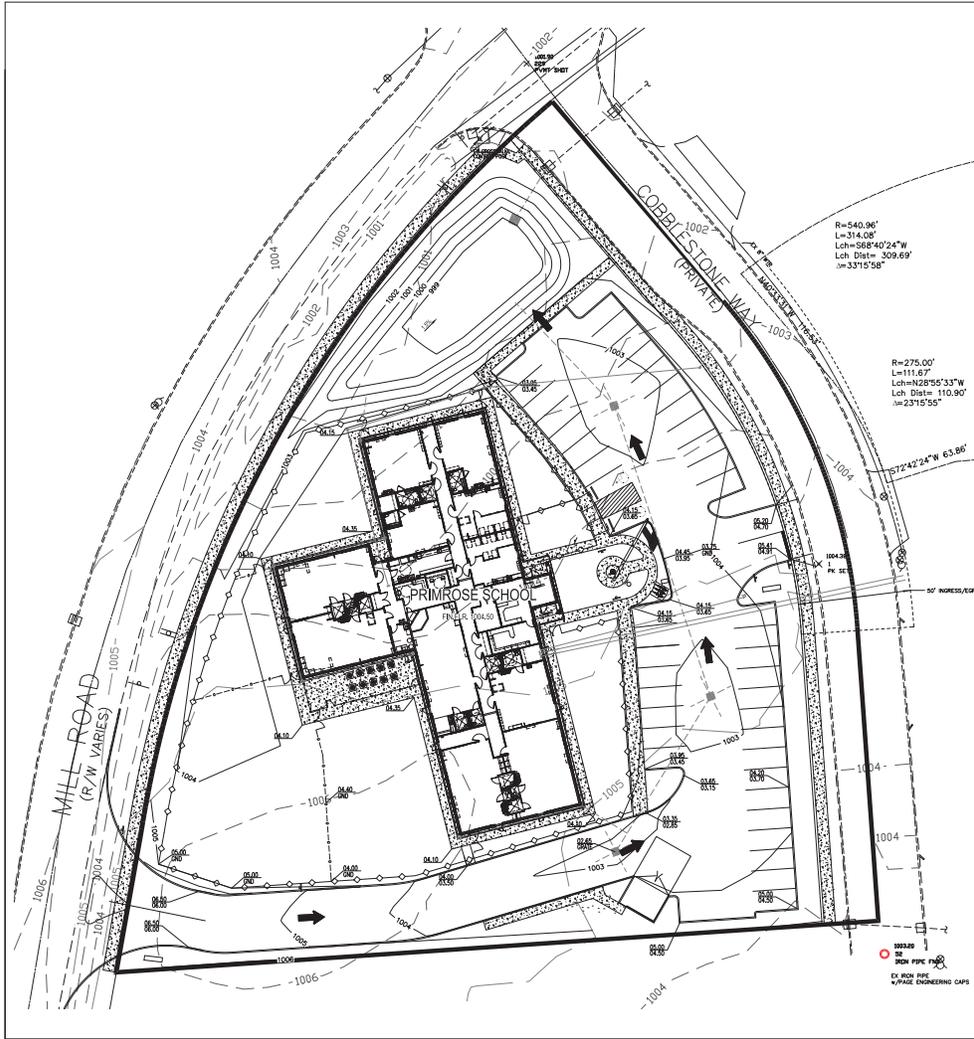
WATER SERVICE NOTES:

1. CONTRACTOR SHALL MAINTAIN 5.0' COVER OVER THE WATER LINE.
2. CONTRACTOR SHALL MAINTAIN 18" MIN. CLEARANCE AROUND OTHER UTILITIES.
3. CONTRACTOR SHALL USE MECHANICAL JOINTS AND FIELD LOK GASKETS TO RESTRAIN WATERLINE.
4. CONTRACTOR SHALL INSTALL LINE PER MARYSVILLE RULES AND REGULATIONS.
5. PIPE MANUFACTURER - GLOW (OR ENGINEER APPROVED EQUAL).
6. SEE MEP PLANS FOR METER, DOUBLE CHECK VALVES AND BACKFLOW PREVENTION DEVICE LOCATIONS.



NOTE:
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION TO AVOID DAMAGE. COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

	<p>PRIMROSE SCHOOLS 3400 CREAMHART ROAD MARYSVILLE, OHIO 43040 TEL: 773.543.0700 FAX: 773.543.0270</p>
	<p>OCF COMMUNITY DEVELOPMENT, LLC 8440 DARTMOUTH ROAD, SUITE 100 MARYSVILLE, OHIO 43040 TEL: 877.800.0000 FAX: 614.778.9798</p>
<p>UTILITY PLAN PRIMROSE SCHOOL OF MARYSVILLE</p>	<p>1600 COBBLESTONE WAY MARYSVILLE, OHIO 43040 UNION COUNTY, OHIO 43040</p>
<p>DATE: 08/24/2016 DRAWN: C4 JOB #: 16-03</p>	



GRADING LEGEND:

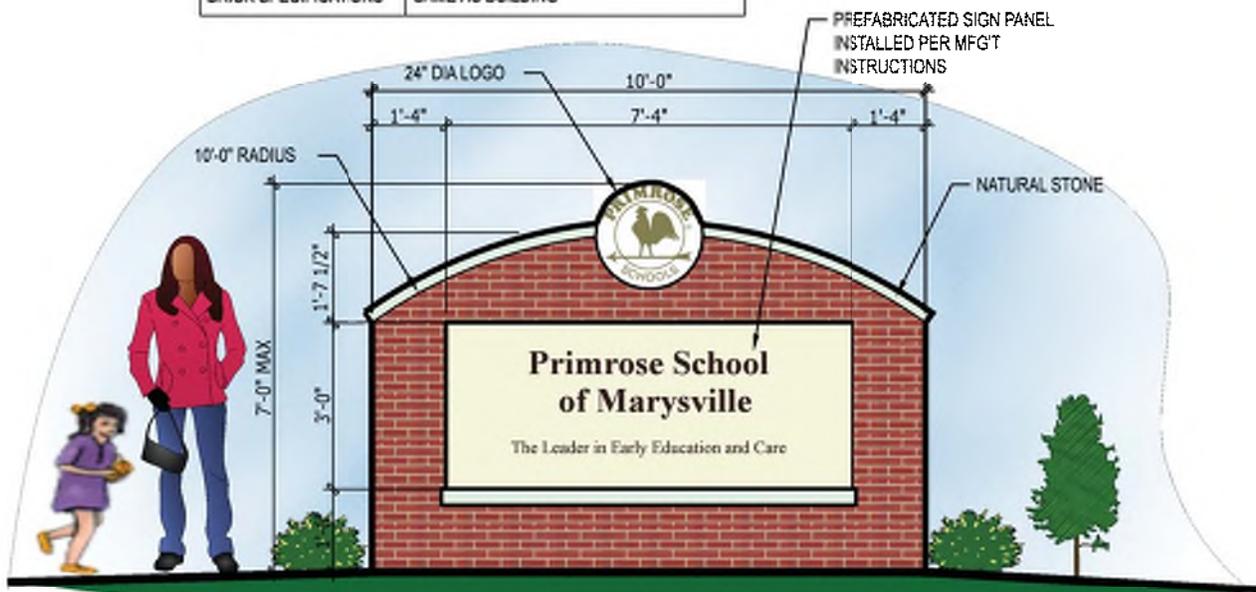
- EXISTING GRADE
- TOP OF CURB
- PAVEMENT GRADE
- SPOT GRADES ON PAVEMENT/CONC/EO/P
- OVERLAND DRAINAGE FLOW DIRECTION
- 100 YEAR FLOOD ROUTING
- WORK LIMIT
- PAVEMENT
- CONC.
- HIGH POINT
- HP
- GND

<p>PRIMROSE SCHOOLS 3400 COLUMBIAN BLVD MARYSVILLE, OHIO 43047 TEL: 773.528.0700 FAX: 773.528.0270</p>	<p>CCF CONSULTING ENGINEERS, LLC 8440 BAYVIEW DRIVE, SUITE 10 MARYSVILLE, OHIO 43047 TEL: 677.933.9300 FAX: 677.933.9798</p>
<p>GRADING PLAN PRIMROSE SCHOOL OF MARYSVILLE 1600 COBBLESTONE WAY MARYSVILLE, OHIO 43047 UNION COUNTY, OHIO 43040</p>	
<p>DATE: 08/24/2016 DRAWN: [Signature] CHECKED: [Signature]</p>	<p>C5</p>

NOTE:
 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

SIGN SPECIFICATIONS:	
LOGO	24" DIAMETER, SANDBLASTED - TATE OLIVE ON BEIGE BACKGROUND
LETTERS	DARK BRONZE 5" HIGH, STYLE: TIMES BOLD
STRIP LETTERS (*THE LEADER IN...*)	25" HIGH, STYLE: TIMES BOLD DARK BRONZE LETTERS
BACK GROUND	BEIGE PAINTED METAL
BRICK SPECIFICATIONS	SAME AS BUILDING

SIGN AREAS (ONE SIDE)	
SIGNAGE (COPY AREA)=	2'-4" X 7'-4" = 19 S.F.
LOGO - 24" DIA =	3.14 S.F.
OVERALL STRUCTURE=	22.14 SFX2 = 44.28 SF



SKETCH NO:	SK-1
PROJECT NO:	16015
SHEET NO:	
RELEASE NO.:	01
DATE:	08-22-2016

MONUMENT SIGN RENDERING



PRIMROSE SCHOOL
1800 COBBLESTONE WAY
MARYSVILLE, OH 43040



Sub D
2440 Dayton Xenia Road
Beavercreek, Ohio 45434
937 427 2770 voice
937 426 9798 fax



Engineering, Planning and Zoning
City Hall, 209 S. Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 2, 2016

To: City of Marysville
Design Review Board

From: Chad Flowers
City Planner

RE: Planning Staff Report – Moo Moo Express Car Wash

Exterior Plan/Landscape Plan: An application for a new Moo Moo Express Car Wash on property located at 1044 Delaware Avenue in the TOC (Traffic Oriented Commercial) zoning district.

Applicant: John Roush
Moo Moo Express Car Wash
13375 National Road Suite D
Reynoldsburg, OH 43069

Owner: Props4us LLC
883 London Ave
Marysville, Ohio 43040

PROJECT HISTORY:

The applicant is proposing to construct a new Moo Moo Express Car Wash on property located at 1044 Delaware Avenue. A car wash is a permitted use in the TOC (Traffic Oriented Commercial) zoning district.

Location:

The property is located in the TOC (Traffic Oriented Commercial) zoning district. Property located to the north, east and south is also zoned TOC. Property located to the west is zoned R-2 (Medium Density Single Family Residential).

ENGINEERING STAFF ANALYSIS:

- Due to the lack of engineering detail included within this submittal, the City reserves the right to make additional comments during the Final Engineering review as part of the City's Zoning Permit process. Coordinate with the City Engineer's Office regarding the following final engineering related items:
 - Survey documents relating to right-of-ways, access easements, etc.

- Utility connections (public water and wastewater)
- On-site grading and drainage
- Fire Department approval for the Fire Protection system (if applicable)
- Per City Standards, concrete curbing is required for all vehicle use areas.

PLANNING & ZONING STAFF ANALYSIS:

After review of the submitted application materials, the following information is to guide discussion between the Board and the applicant.

Site Plan:

The side yard building setback in TOC is 10'-0". The proposed plans show an 8'-0" side yard setback not meeting code. The applicant will need to apply to the Board of Zoning Appeals (BZA) and receive approval for the reduced side yard setback.

The applicant has located a drive lane adjacent to Lydia Drive on the north side of the proposed structure. Code section 1140.07(b)(1)(A) requires a ten (10) foot front setback. Since the property fronts two roadways, the property has two frontages. The applicant will need to apply to the Board of Zoning Appeals (BZA) and receive approval for the reduced front yard setback for vehicular use area.

All other setback meet City Code.

Landscaping:

The applicant has located three (3) blue spruce (*Picea pungens*) trees along the west property line. The northern most spruce tree appears to be too close to the proposed building. Staff suggests sliding the three spruce trees to the south to allow room for growth.

The applicant is proposing to use Sea Green Junipers on-site. Staff suggests removing this plant from the plant list. Staff suggests using Karl Forester reed grass in the islands in place of the Sea Green juniper shrub. Staff suggest using dense yew in place of the Sea Green junipers located along the foundation of the proposed building and along the Delaware Avenue frontage to screen the vehicular use are.

Additional shrubs will need to be added in the proposed hedge row along the Delaware Avenue to screen the vehicular use area and shield vehicle headlights.

Additional parking spaces will be added to the Burger King restaurant as part of this project. Per code section 1140.07(b)(B) a 36" tall hedge row to screen the Burger King parking lot/Vehicular use area along Delaware Avenue and Lydia Drive is required and shall be provided.

Staff suggests using a dark hardwood mulch.

All other landscape planting requirements have been met.

Parking & Access Drives/Pedestrian Safety:

Per code section 1141.12(f)(4)(B), 1 space per 400 square feet of gross floor area plus 2 spaces for each service bay. Since the car was doesn't have a service bay the only parking requirement is one (1) space per 400 sq. ft. of gross floor area. The proposed building is +/- 3300 sq. ft.

requiring 8 parking spaces on-site. The plans show 10 spaces south of the car wash and additional spaces adjacent to the carwash at the Burger King restaurant.

Per code section 1141.02 Ninety degree parking spaces at a minimum shall be 9'-0" wide by 19'-0" in length. Parking spaces located south of the building do not appear to meet the city code standard for parking space size. The applicant shall adjust the plans to show all minimum measurements have been met.

A new proposed sidewalk is also be located along the entire street frontage of Delaware Ave.

Stormwater:

No comment – The applicant must work with the City Engineering Department to make sure all required City stormwater specifications are met.

Access Management:

The Proposed car wash is located on the same parcel as the Burger King restaurant. The parcel is accessed by two curb cuts, one on Delaware Ave (south) and the other on Lydia Drive (north). The proposed project will remove the existing portion of the old service access road that ran parcel to Delaware Ave. This section will be replaced with lawn, a new sidewalk and additional parking.

Building Materials & Colors (including roofing):

The applicant has provided the north, south, east and west elevations for the proposed building. Materials on the elevations include:

Walls:	Hardie board & batton siding. Color: SW burgundy Cultured Stone: Centurion Stone, Fieldstone Kentucky Cultured Stone water table: Color Not specified
Trim:	White
Roof:	Asphalt Shingles, GAF-Slateline, color: English Grey Slate Standing Seam metal roof (Light monitor only).
Windows:	Not specified
Doors:	Not specified

The proposed project is located on property located in the TOC zoning district and are subject to code section 1144.10 Design Review Standards for Commercial and Office design review District (DRD-2).

Per code section 1144.10 building materials shall be of high quality and durability, and architectural features should be used to create visual interest and usability of the commercial or office buildings. Building facades shall be constructed with one or more of the following materials: solid wood, glass, brick, stone, stucco, decorative block or contemporary durable materials, with minimal use of vinyl, decorative aluminum or metal siding.

Code section 1144.10(a)(1) requires a minimum of forty percent (40%) decorative treatment, of the facades of buildings to incorporate brick, brick veneer, stone, stone veneer, split face block, stucco, glass, decorative block, EIFS or other contemporary durable materials that have the appearance of stone, brick or stucco or other natural materials.

The proposed plans/elevations meet the 40% decorative finish requirement

Facades & Exterior Walls:

No comment – See Building Materials. The applicant has provided a color rendering of the building with their application.

Fencing:

No Comment.

Mechanicals:

No mechanicals are labeled on the site plan. Applicant must include mechanicals in the plans and per code 1144.10(c) all utility boxes and/or mechanical equipment (ac units) shall be screened.

Lighting:

The applicant has provided a lighting plan. Applicant is proposing to use a black square LED shoe box style light fixture on a square 20'-0" black pole. The applicant has located goose neck wall mounted lights on the proposed structure, but no details have been provided.

Outdoor Storage/Loading Areas:

The proposed plans meet all Loading space requirements.

Trash Enclosures:

The proposed plans show a dumpster enclosure on-site, but no details have been provided. The applicant shall provide detailed elevations of the dumpster enclosure.

Per code, any trash area must meet the following requirements per section City code section 1144.10(d).

1144.10(d) Trash Enclosures. Trash containers or receptacles (including recycling containers) shall be screened or enclosed with a trash enclosure meeting the following criteria:

- (1) The trash enclosure shall have four (4) sides with opening doors for the purpose of trash removal.
- (2) The trash enclosure shall be constructed of a wooden or vinyl fence structure, or masonry wall with an opacity of one hundred percent (100 %) and a height of one foot above the top of the tallest container.
- (3) The trash enclosure shall be constructed so that the opening doors are wide enough to accommodate a garbage truck emptying and replacing the trash container or receptacle.
- (4) The building materials used for the trash enclosures shall be compatible with the building materials used on the principal building. A reinforced concrete pad and approach apron shall be constructed under and in front of the enclosed area.
- (5) Gates and doors on the enclosure shall be of a wood, vinyl, hardiplank or any alternative material the Board deems suitable. Fencing with slats is prohibited.
- (6) The location of enclosures shall be as inconspicuous as possible.

Signs:

The applicant shall work with the City Zoning Administrator to obtain appropriate signage permits.

Additional Information:

Should the submitted application be approved; the Board may wish to remind the applicant of the following:

- Applicant shall work with City Zoning, City Engineer and County Building staff to obtain all proper reviews and permits prior to the commencement of the subject project.
- Exterior Plan approval shall be for a period not to exceed two years from the approval date of the Exterior Plan. If no construction has begun within two years after approval is granted, the approved Exterior Plan shall become null and void.

Staff Recommendation:

City staff has worked with the applicant through the design phase of the project. Staff recommends that the Design Review Board ‘Approve’ the application with the following conditions:

1. The applicant apply to the Board of Zoning Appeals (BZA) and receive approval for a reduced side yard building setback.
2. The applicant apply to the Board of Zoning Appeals (BZA) and receive approval for the reduced front yard setback for vehicular use area.
3. The Applicant replace the Sea Green juniper on the plant list with Karl Forester reed grass (parking islands) and dense yew (foundation plantings).
4. Add additional evergreen shrubs along entry drive on Delaware Ave to screen vehicular use areas.
5. Per code section 1140.07(b)(B) A 36” tall hedge row shall be provided to screen the Burger King parking lot along Delaware Avenue and Lydia Drive.
6. All mulched areas to be dark hardwood mulch.
7. Applicant adjust parking spaces south of the building to ensure they meet the size requirements per code section 1141.12(f)(4)(B).
8. Applicant provide wall light details.
9. Applicant provide dumpster enclosure details.

If you have any questions or comments about the aforementioned comments, please feel free to contact me at (937) 645-7361 or via email at cflowers@marysvilleohio.org.

Cc: J. Hoyt
R. Todd



209 S. Main Street • Marysville, Ohio 43040

Phone: (937) 645-7350 • Fax: (937) 645-7351 • www.marysvilleohio.org

**DESIGN REVIEW BOARD APPLICATION
EXTERIOR PLAN / LANDSCAPE PLAN**

***** IMPORTANT INFORMATION – Please read before completing the application *****

- **Required** - Submission of a complete application, including all of the items listed in the application checklist.
- Applications and applicable fees shall be submitted by no later than 5:00 p.m. on the application deadline date.
- Submitted application and all checklist items shall be reviewed by City staff for completeness. Submittals found to be incomplete will be rejected and the application will not be placed on the Board agenda. If an application is found to be incomplete, the applicant may submit the missing materials by the application deadline date to complete the application.
- No late submittals or additional information will be accepted after the application deadline.
- Exterior work that requires approval by the Design Review Board shall not commence until approval is granted by the Design Review Board and the appropriate approved permits are obtained.

Project Site Information (Please print clearly)

Project Street Address: 1044 Delaware Ave Property Zoning District: B

Company / Business Name: Moo Moo Express Car Wash

Description of Proposed Project: New express tunnel car wash with free vacuums

Owner of Property: Props4us LLC

Owner's Address (Street): 883 London Ave

City, State and Zip Code: Marysville, Oh 43040

Owner's Telephone Number: 937.243.0327

Applicant Information (Please print clearly)

Applicant: John Roush Owner Agent Representative Other

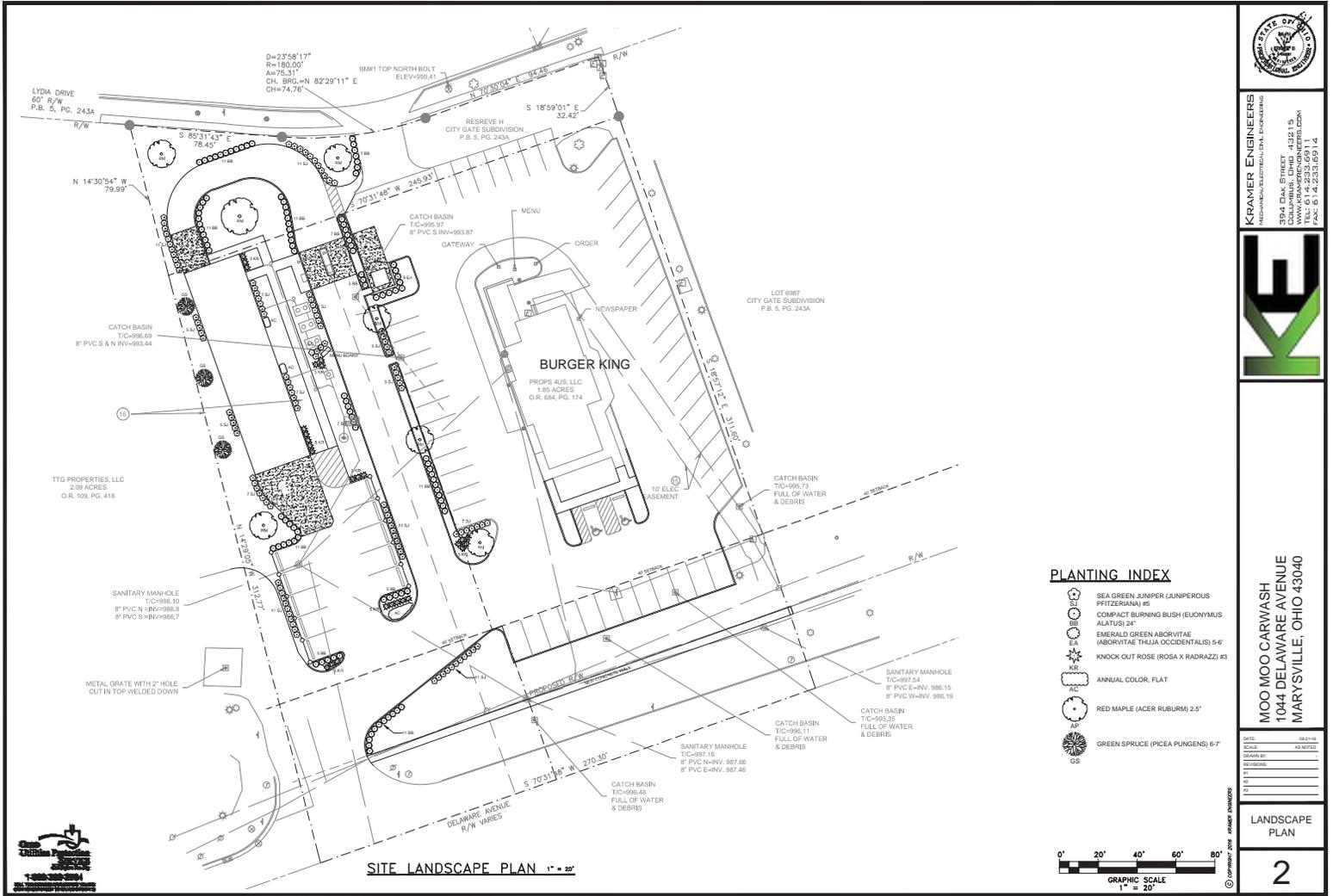
Company: Moo Moo Express Car Wash

Address (street): 13375 National Road Suite D

City, State, and Zip Code: Reynoldsburg, Oh 43068

Telephone Number: 614.206.2778

E-mail Address: john@moomoocarwash.com



KRAMER ENGINEERS
 MECHANICAL/ELECTRICAL/CIVIL ENGINEERS
 924 S. Oak Street
 Columbus, Ohio 43221-5
 WWW.KRAMERENGINEERS.COM
 TEL: 614.233.6914
 FAX: 614.233.6914

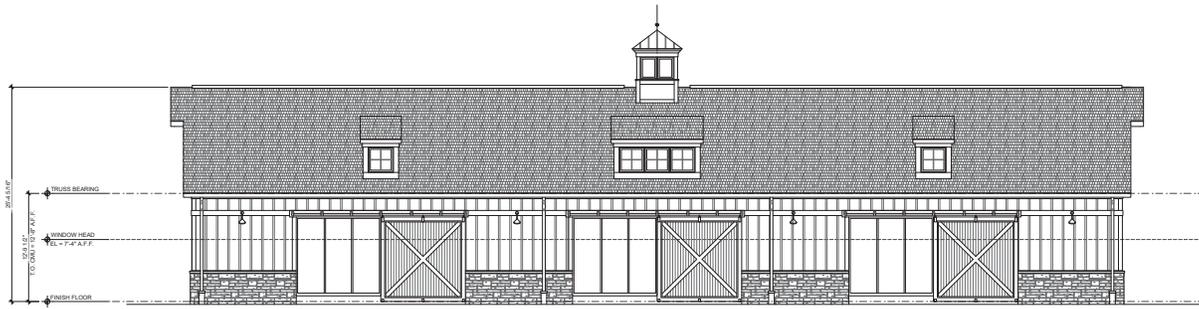


100 MOO CARWASH
1044 DELAWARE AVENUE
MARYSVILLE, OHIO 43040

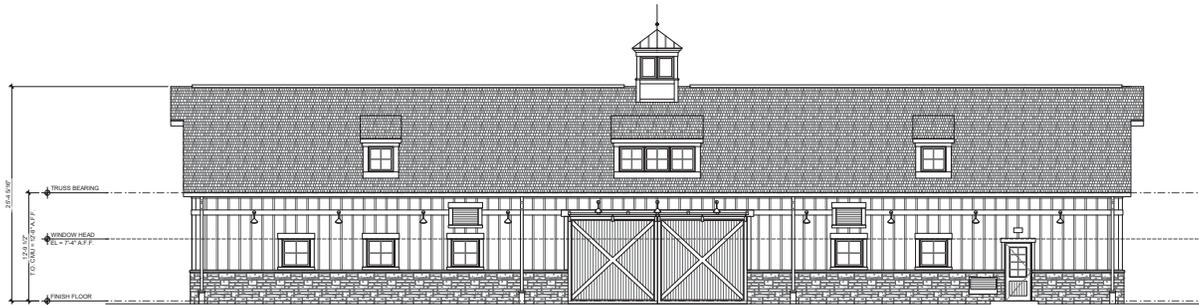
DATE	08/21/16
SCALE	AS SHOWN
DRAWN BY	DLR/MSJ
CHECKED BY	
IN CHARGE	
BY	
DATE	

LANDSCAPE PLAN

2



2 SIDE ELEVATION



1 SIDE ELEVATION

ELEVATION CODED NOTES

1. 1/2 HARDIE-FRIM, PAINTED
2. 3/4 HARDIE-FRIM, PAINTED
3. 1/8 HARDIE-FRIM, PAINTED
4. 1/8 HARDIE-FRIM, PAINTED
5. 1/4 HARDIE-FRIM, PAINTED
6. 1/4 DIA. ALUMINUM DOWNPOUT, COLOR TO BE WHITE
7. 1/4 ALUMINUM GUTTER, COLOR TO BE WHITE
8. DOWNPOUT/BOGT, COLOR TO BE WHITE
9. CULTURED STONE WATER TABLE
10. NOT USED
11. LIGHT MONITOR, SEE DETAIL 442-2
12. DECORATIVE SLIDING BARN DOOR HARDWARE AND TRACK
13. FUNCTIONAL SLIDING BARN DOOR HARDWARE AND TRACK
14. SWIRLGE, BY OWNER
15. EXTERIOR WALL MOUNTED LIGHT FIXTURE
16. CONTINUOUS RIDGE VENT
17. GRADE, COORDINATE BY CIVIL DRAWINGS
18. FIXED 10'-0" WIDE x 10'-0" TALL BARN DOOR
19. FIXED 10'-0" WIDE x 10'-0" TALL BARN DOOR
20. FUNCTIONAL 10'-0" WIDE x 10'-0" TALL SLIDING BARN DOOR
21. P/FAC UNIT, SEE MECHANICAL DRAWINGS
22. 2'-0" x 4'-0" WINDOW, MATCH LOWER WINDOWS
23. 2'-0" x 4'-0" WINDOW, MATCH LOWER WINDOWS
24. 2'-0" WIDE x 3'-0" TALL FALSE BARN DOOR DETAIL
25. 3'-0" x 4'-0" WINDOW, MATCH LOWER WINDOWS
26. CLEAR GLAZING
27. FROGGED GLAZING
28. 24"X36" LOUVER

ELEVATION MATERIAL LEGEND

- ASPHALT SHINGLES
- GAF 36 SLATE
- ENGLISH GREY SLATE
- HARDIE BOARD & BATTEN SIDING
- COLOR: SHERWIN WILLIAMS
- BURGUNDY (SEE WITH OWNER)
- CLAY TUBED STONE
- CENTURION STONE
- REDFSTONE KENTUCKY
- STANDING SEAM METAL ROOF
- (SLIGHT MONITOR ONLY)
- TRIM COLOR: SHERWIN WILLIAMS SW7028 - INCREDIBLE WHITE
- TRIM/FIT/FINAL COLOR: SHERWIN WILLIAMS SW7028 - INCREDIBLE WHITE
- CLAY TUBED STONE
- WATER TABLE

#	DATE	ISSUED WITH CHANGE DESCRIPTION

MooMoo EXPRESS CAR WASH
MARTYSVILLE, OHIO



SCALE: 3/8" = 1'-0"

SHEET # DESCRIPTION

EXTERIOR ELEVATIONS

A2-1

DATE: 08/27/2018

ZONING SUBMISSION

DATE: 08/27/2018

PROJECT: MOO MOO EXPRESS CAR WASH

PROJECT: MOO MOO EXPRESS CAR WASH

DATE: 08/27/2018

PROJECT: MOO MOO EXPRESS CAR WASH

August 19, 2016



Front (Entry) Elevation
Scale: None



Rear (Exit) Elevation
Scale: None



Side Elevation
Scale: None



Side Elevation
Scale: None

MOO MOO EXPRESS CAR WASH

1044 Delaware Avenue, Marysville, Ohio



LED AREA LIGHTS - (XGBM)



Shown with optional decal striping

DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

LIGHT OUTPUT - XGBM

		Lumens (Nominal)				Watts (Nominal)
		Type 3	Type 5	Type FT	Type FTA	
Cool White	LW	14080	13840	15020	16560	140
	SS	20180	18040	20700	23030	187
	HO	26750	25460	29070	31810	300
Neutral White	LW	11450	11290	12220	13470	136
	SS	16390	15170	17230	18750	188
	HO	22240	20550	23510	25410	288

LED Chips are frequently updated therefore values may increase.

US patent D574994 & 7,828,456 and MX patent 29631 and US & Int'l. patents pending

SMARTTEC™ THERMAL CONTROL - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature.

OCCUPANCY SENSING (IMS) – Optional integral passive infrared motion sensor activates switching of luminaire light levels. High level light is activated and increased to full bright in 1-2 seconds upon detection of motion. Low light level (30% maximum drive current) is activated when target zone is absent of motion activity for ~2 minutes and ramps down (10-15 seconds) to low level to allow eyes time to adjust. Sensor is located on the front of optical assembly and rotates with the optic. Sensor optic has a detection cone of approximately 45°. Examples of detection – occurs 30' out from a 30' mounting height pole; occurs 20' out from a 20' mounting height pole.

ENERGY SAVING CONTROL OPTIONS – DIM – 0-10 volt dimming enabled with controls by others. BLS – Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

LEDS - Select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70 CRI.

DISTRIBUTION/PERFORMANCE - Types 3, 5, FT and FTA available - field rotatable reflectors.

HOUSING - Square, die-formed aluminum. Fully enclosed weather-tight housing contains factory prewired drivers and field connections.

TOP-ACCESS COVER - Gasketed, tethered top-access cover provides ease of installation and allows for easy driver access. Four captive stainless-steel fasteners secure the top-access cover to the housing.

OPTICAL UNIT - Clear tempered optical grade flat glass lens sealed to aluminum housing creates an IP67 rated, sealed optical unit (includes pressure stabilizing breather). Optical unit can be easily field rotated in 90o increments. Directional arrow on optics allows alignment without the unit being energized.

MOUNTING - 2-1/2" x 5-3/8" x 12" extruded aluminum arm mounting bracket shipped standard. Use with 5" traditional drilling pattern. Round Pole Plate (RPP2) required for mounting to 3"-5" round poles. (See Accessory Ordering Information chart.)

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (UE - 50/60Hz input), and 347-480VAC.

DRIVERS - Available in Low Watt (LW), Super Saver (SS) and High Output (HO) drive currents (Drive currents are factory programmed). Components are fully encased in potting material for moisture resistance. Driver complies with FCC 47 CFR part 15 RFI/EMI standard.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

DECAL STRIPING - LSI offers optional color-coordinated decals in 9 standard colors to accent the fixture. Decals are guaranteed for five years against peeling, cracking, or fading.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

SHIPPING WEIGHT (IN CARTON) - Fixture - 44.5 lbs (20 kg) Arm - 5 lbs. (2kg) arm

LISTING - UL listed to U.S. and Canadian safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Fixtures comply with ANSI C136.31-2010 American National Standard for Roadway Lighting Equipment - Luminaire Vibration 3G requirements.



Project Name Moo Moo's Marysville Fixture Type P1
 Catalog # XGBM 5 LED HO CW UE BLK

LED AREA LIGHTS - (XGBM)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XGBM 5 LED HO CW UE WHT PCM**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XGBM¹ - LED Greenbriar	FT - Forward Throw FTA - Forward Throw Automotive 3 - Type III 5 - Type V	LED	LW - Low Watt SS - Super Saver HO - High Output	CW - Cool White (5000K) NW - Neutral White (4000K)	UE - Universal Voltage (120-277) 347-480	BLK - Black BRZ - bronze GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White Optional Color Decals 45 - Light Gold 20 - Charcoal Metallic 55 - Black 94 - Blue Metallic 59 - Dark Green 51 - Dark Red 21 - Tomato Red 50 - White 700 - Aztec Silver Metallic	Wireless Control System^{2,3} (blank) - None PCM - Platinum Control System PCMH - Host/Satellite Platinum Control System GCM - Gold Control System GCMH - Host/Satellite Gold Control System DIM - 0-10 volt dimming (required for satellite fixtures) Stand-Alone Control (blank) - None DIM - 0-10 volt dimming ⁴ (from external signal) BLS - Bi-level Switching ⁵ (from external signal - required 120-277V controls system voltage)	Sensor IMS - Integral Motion Sensor ⁶ PCI120 - 120V Button-Type Photocell PCI208 - 208V Button-Type Photocell PCI240 - 240V Button-Type Photocell PCI277 - 277V Button-Type Photocell PCI347 - 347V Button-Type Photocell Options 8BK - 8" Bracket (S and D180 only) TB - Terminal Block

LUMINAIRE EPA CHART² - XGBM

	8" Bracket	12" Bracket
Single	2.3	2.4
D180°	4.7	4.8
D90°	12" Bracket Required	4.7
T90°		7.2
TN120°		7.3
Q90°		8.8

Note: House Side Shield adds to fixture EPA. Consult Factory.

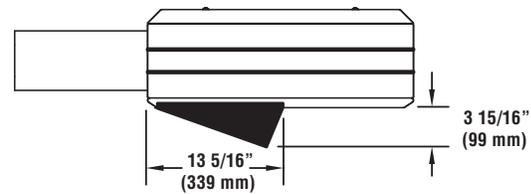
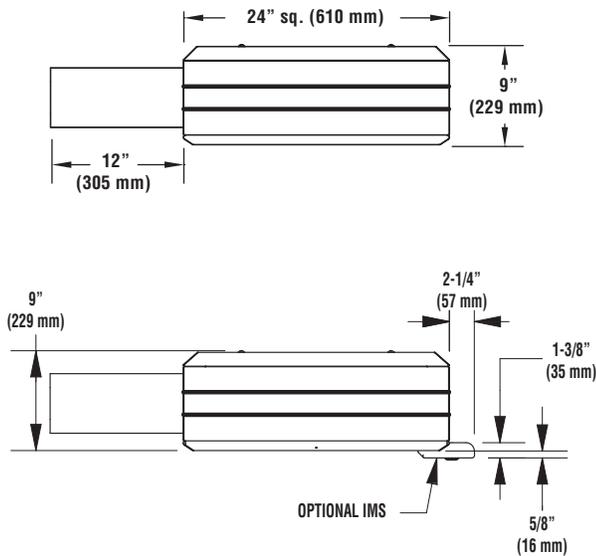
ACCESSORY ORDERING INFORMATION²

(Accessories are field installed)

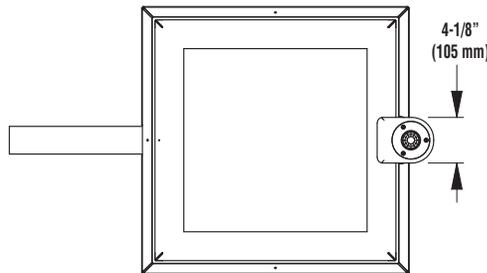
Description	Order Number	Description	Order Number
XGBM-HSS House Side Shield (Black only)	482002 BLK ⁷	DFK208, 240 Double Fusing (208V, 240V)	DFK208,240 ⁸
RPP2 - Round Pole Plate	162914BLK	DFK480 Double Fusing (480V)	DFK480 ⁸
BKS-BO-WM-* -CLR - Wall Mount Plate	123111CLR	FK347 Single Fusing (347V)	FK347 ⁸
BKA-BO-RA-8-CLR - Radius Arm	169010CLR	PMOS120 - 120V Pole-Mount Occupancy Sensor	518030CLR ⁹
BKU-BO-S-19-CLR - Upsweep Bracket for round or square poles	144191CLR	PMOS208/240 - 208, 240V Pole-Mount Occupancy Sensor	534239CLR ⁹
FK120 Single Fusing (120V)	FK120 ⁸	PMOS277 - 277V Pole-Mount Occupancy Sensor	518029CLR ⁹
FK277 Single Fusing (277V)	FK277 ⁸	PMOS480 - 480V Pole-Mount Occupancy Sensor	534240CLR ⁹

- FOOTNOTES:**
- 1- Use with 5" traditional drilling pattern.
 - 2- For wireless controls information and accessories, see Controls section.
 - 3- Requires a SiteManager and override switch. Not compatible with BLS or IMS option.
 - 4- Not compatible with IMS or BLS option.
 - 5- Not compatible with wireless controls system, DIM or IMS option.
 - 6- Not compatible with wireless controls system, DIM or BLS option.
 - 7- House Side Shields add to fixture EPA. Consult factory.
 - 8- Fusing must be located in the hand hole of pole.
 - 9- To be used with any of the PCM/GCM wireless controls systems in the fixture. Consult factory.

DIMENSIONS



House Side Shield (482002BLK)



LED AREA LIGHTS - (XGBM)

BUG LISTING

XGBM - Type 3

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
HO	CW	26,754	300	89	B3-U0-G3
	CW-HSS	17,316	288	60	B2-U0-G2
	NW	22,240	289	77	B3-U0-G2
	NW-HSS	13,941	288	48	B2-U0-G2
LW	CW	14,082	140	100	B2-U0-G2
	CW-HSS	9205	137	67	B1-U0-G2
	NW	11,451	137	84	B2-U0-G2
	NW-HSS	7513	136	55	B1-U0-G2
SS	CW	20181	187	108	B3-U0-G2
	CW-HSS	13,034	187	70	B2-U0-G2
	NW	16,394	189	87	B3-U0-G2
	NW-HSS	10,384	189	55	B2-U0-G2

XGBM - Type FT

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
HO	CW	29,070	301	97	B2-U0-G4
	CW-HSS	20,964	288	73	B1-U0-G4
	NW	23,512	289	81	B2-U0-G4
	NW-HSS	17,191	289	60	B1-U0-G3
LW	CW	15,019	141	107	B1-U0-G3
	CW-HSS	11,519	137	84	B1-U0-G3
	NW	12,217	136	90	B1-U0-G3
	NW-HSS	9365	136	69	B1-U0-G3
SS	CW	20,700	187	111	B2-U0-G3
	CW-HSS	15,273	187	82	B1-U0-G3
	NW	17,230	189	91	B1-U0-G3
	NW-HSS	12,597	189	67	B1-U0-G3

* Color Temperature: NW-4000K, CW-5000K

XGBM - Type 5

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
HO	CW	25,464	300	85	B4-U0-G2
	NW	20,549	288	71	B4-U0-G2
LW	CW	13,842	140	99	B3-U0-G2
	NW	11,291	136	83	B3-U0-G2
SS	CW	18,044	186	97	B4-U0-G2
	NW	15,173	189	80	B4-U0-G2

XGBM - Type FTA

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
HO	CW	31,808	301	106	B4-U0-G4
	CW-HSS	20,838	288	72	B3-U0-G3
	NW	25,407	289	88	B3-U0-G3
	NW-HSS	16,855	289	58	B3-U0-G3
LW	CW	16,560	140	118	B3-U0-G2
	CW-HSS	11,440	137	84	B2-U0-G2
	NW	13,473	136	99	B3-U0-G2
	NW-HSS	9277	136	68	B2-U0-G2
SS	CW	23,033	187	123	B3-U0-G3
	CW-HSS	15,213	187	81	B3-U0-G2
	NW	18,752	189	99	B3-U0-G3
	NW-HSS	12,516	189	66	B2-U0-G3

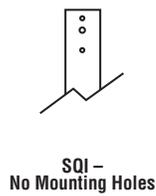
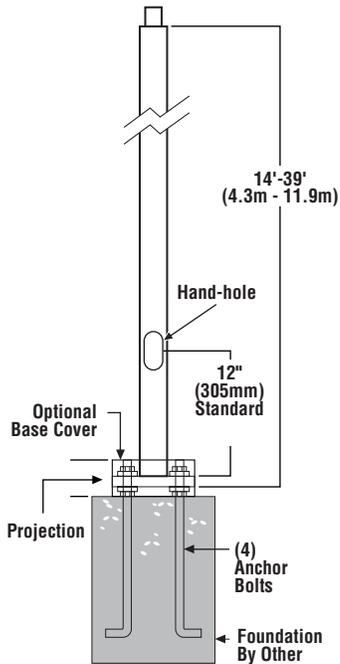


STEEL SQUARE POLES

DIMENSIONS

SQN -
N= 2-3/8" (60mm) O.D. x 4-3/4" (121mm) Tenon

SQB3, SOB5 -
Bolt-On Mount
2-Bolt Pattern



POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5", and 6" square.

HAND-HOLE - Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

GROUND LUG - Ground lug is standard.

DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

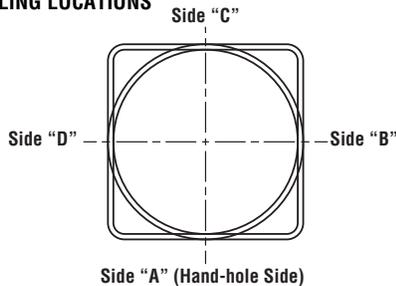
GROUND FAULT CIRCUIT INTERRUPTER - Self-testing ground fault circuit interrupter is optional.

FINISHES - Each pole is finished with DuraGrip®, LSI's baked-on polyester-powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional DuraGrip® Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester-powder finish plus an inner coating, as well as a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed map).
- Confirm pole EPA equal to or exceeding value from note above
- Consult factory for special wind load requirements and banner brackets

DRILLING LOCATIONS



Sides	A	B	C	D
Hand-hole	X			
Single	X			
D180°		X		
D90°				X
T90°	X	X		X
TN120°*	X			
Q90°	X	X	X	X
Single FBO	X			
Double FBO		X		X

*Other two locations will be 120° to the left and right of Side A.

Note: Standard SF and DF pole preparations are located 3/4 of the height of the pole from the base, unless otherwise specified.

SHIPPING WEIGHTS - Steel Square Poles

4" (102mm) sq. 11 Ga. is approximately	7.50 lbs./ft.
4" (102mm) sq. 07 Ga. is approximately	10.00 lbs./ft.
5" (127mm) sq. 11 Ga. is approximately	9.00 lbs./ft.
5" (127mm) sq. 07 Ga. is approximately	12.50 lbs./ft.
6" (152mm) sq. 07 Ga. is approximately	15.40 lbs./ft.
Anchor Bolts (3/4" x 30") (19mm x 762mm)	15 lbs. (7kg)/set
Anchor Bolts (1" x 36") (25mm x 914mm)	30 lbs. (14kg)/set

POLE SELECTION CHART: 4" (102mm), 5" (127mm) and 6" (152mm) steel square poles

Height	EPA [†]				Outside Dimensions	Material	Bolt Circle
	70 MPH	80 MPH	90 MPH	100 MPH			
14' (4.3m)	23.3	16.7	12.2	9.0	4" (102mm)	S11G	B
16' (4.9m)	18.6	13.1	9.3	6.5	4" (102mm)	S11G	B
16' (4.9m)	34.6	25.0	18.5	13.8	5" (127mm)	S11G	C
18' (5.5m)	14.4	9.7	6.5	4.2	4" (102mm)	S11G	B
18' (5.5m)	27.9	19.7	14.1	10.1	5" (127mm)	S11G	C
20' (6.1m)	11.0	7.0	4.2	2.2	4" (102mm)	S11G	B
20' (6.1m)	18.7	12.8	8.8	5.9	4" (102mm)	S07G	B
20' (6.1m)	22.5	15.4	10.5	7.0	5" (127mm)	S11G	C
20' (6.1m)	35.5	25.4	18.4	13.4	5" (127mm)	S07G	D
22' (6.7m)	10.4	6.3	3.4	1.4	4" (102mm)	S11G	B
22' (6.7m)	18.7	12.6	8.4	5.4	4" (102mm)	S07G	B
22' (6.7m)	20.8	13.8	8.9	5.5	5" (127mm)	S11G	C
22' (6.7m)	34.0	23.9	17.0	12.0	5" (127mm)	S07G	D
24' (7.3m)	7.7	4.0	1.5	—	4" (102mm)	S11G	B
24' (7.3m)	15.1	9.7	6.0	3.3	4" (102mm)	S07G	B
24' (7.3m)	16.7	10.5	6.2	3.1	5" (127mm)	S11G	C
24' (7.3m)	28.6	19.6	13.4	8.9	5" (127mm)	S07G	D
24' (7.3m)	46.2	32.6	23.2	16.6	6" (153mm)	S07G	J
26' (7.9m)	5.3	2.1	—	—	4" (102mm)	S11G	B
26' (7.9m)	12.0	7.2	3.9	1.5	4" (102mm)	S07G	B
26' (7.9m)	13.2	7.6	3.8	1.0	5" (127mm)	S11G	C
26' (7.9m)	24.0	15.8	10.3	6.3	5" (127mm)	S07G	D
26' (7.9m)	39.6	27.3	18.9	12.9	6" (152mm)	S07G	J
28' (8.5m)	19.9	12.5	7.5	3.9	5" (127mm)	S07G	D
28' (8.5m)	33.9	22.7	15.1	9.6	6" (152mm)	S07G	J
30' (9.1m)	16.3	9.6	5.0	1.7	5" (127mm)	S07G	D
30' (9.1m)	28.8	18.6	11.6	6.6	6" (152mm)	S07G	J
35' (10.7m)	18.3	10.0	4.3	—	6" (152mm)	S07G	J
39' (11.9m)	11.5	4.3	—	—	6" (152mm)	S07G	J

[†] EPA based on ANSI/ASCE 7-93. Refer to EPA information on next page. For applications in Canada and areas using code requirements other than ANSI/ASCE 7-93, consult factory. If luminaire weight exceeds 250 lbs. (113.4 kg), consult factory.

ARRA
Funding Compliant



Project Name **Moo Moo Marysville**

Fixture Type **P1, P2, P3 Pole**

06/29/16

Catalog # **5SQB5 S11G 20' S GA 5BC BLK DF15'**

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LSI INDUSTRIES INC.

STEEL SQUARE POLES

POLE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **5SQB5 S07G 24 S PLP SF DGP**

Pole Series	Material	Height ²	Mounting Configuration	Pole Finish	Options
Bolt-on Arm Mount - See pole selection guide for patterns and fixture matches. 4SQB3 - 3" Reduced drilling pattern 5SQB3 - 3" Reduced drilling pattern 4SQB5 - 5" Traditional drilling pattern 5SQB5 - 5" Traditional drilling pattern 6SQB5 - 5" Traditional drilling pattern	S11G - 11 Ga. Steel S07G - 07 Ga. Steel	14' 16' 18' 20' 22' 24' 26' 28' 30' 35' 39'	S - Single/Parallel D180° - Double D90° - Double DN90° - Double T90° - Triple TN120° - Triple Q90° - Quad QN90° - Quad N - Tenon Mount (Standard tenon size is 2-3/8" O.D.)	BRZ - Bronze BLK - Black PLP - Platinum Plus WHT - White SVG - Satin Verde Green GPT - Graphite MSV - Metallic Silver	GA - Galvanized Anchor Bolts SF - Single Flood ³ DF - Double Flood ³ DGP - DuraGrip [®] Plus LAB - Less Anchor Bolts OSXX - Pole preparation for PMOS Occupancy Sensor ⁴
Tenon Mount - See pole selection guide for tenon and fixture/bracket matches. 4SQN 5SQN 6SQN					Standard SF and DF pole preparations are located 3/4 of the height of the pole from the base, unless otherwise specified.
No Mounting Holes - Use with: • BKA 4ISF & BKA 5ISF • BKA X4ISF & BKA X5ISF			*		DF15' = Pole Prep for Flood Bracket @ 15'
Internal Slip-fitter¹ 4SQI 5SQI					

Consult Pole Selection Chart on opposite page

Standard SF and DF pole preparations are located 3/4 of the height of the pole from the base, unless otherwise specified.

DF15' = Pole Prep for Flood Bracket @ 15'

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Order Number
4BC - 4" Square Base Cover	122559CLR	Vibration Damper - 4" Square Pole (bolt-on mount only)
5BC - 5" Square Base Cover	122561CLR	Vibration Damper - 5" Square Pole (bolt-on mount only)
6BC - 6" Square Base Cover	122563CLR	Vibration Damper - 6" Square Pole (bolt-on mount only)
ER2 - Weatherproof Duplex Receptacle	122566CLR	PMOS120 - 120V Occupancy Sensor
GFI - Ground Fault Circuit Interrupter	122567CLR	PMOS208/240 - 208, 240V Occupancy Sensor
MHP - Mounting Hole Plugs (3 plugs)-for use with 5" traditional drill pattern	132336	PMOS277 - 277V Occupancy Sensor
MHD - Mounting Hole Weatherproof Decal-for use with 3" reduced drill pattern	340120	PMOS480 - 480V Occupancy Sensor
		172539
		172538
		178361
		518030CLR ⁵
		534239CLR ⁵
		518029CLR ⁵
		534240CLR ⁵

FOOTNOTES:

- See Area Lighting Brackets 3" Reduced Drill Pattern and Area Lighting Brackets - Bolt-on 5" Traditional Drill Pattern spec sheets for Internal Slip-fitter brackets.
- Pole heights will have +/- 1/2" tolerance.
- See Flood Lighting Brackets section for choice of FBO brackets.
- Order PMOS separately. Change "XX" to indicate height and side of pole location for pole preparation. EX: OS18A indicates preparation is to be 18ft. up from pole base on side A. Optimal distance from ground to sensor is 20ft.
- OSXX option required. Not for use with Metal Halide fixtures

BOLT CIRCLE

4" (102mm) square
10-1/8" (257mm) sq.



11" (279mm) Dia. Bolt Circle

5" (127mm) square
10-1/8" (257mm) sq.



11" (279mm) Dia. Bolt Circle

5" (127mm) square
10-1/8" (257mm) sq.



11" (279mm) Dia. Bolt Circle

6" (152mm) square
12" (305mm) sq.



12" (305mm) Dia. Bolt Circle

	B	C	D	J
Bolt Circle	8"-11" (203mm-279mm)	9"-11" (229mm-279mm)	9"-11" (229mm-279mm)	12" (305mm)
Anchor Bolt Size	3/4" x 30" (19mm x 762mm)	3/4" x 30" (19mm x 762mm)	1" x 36" (25mm x 914mm)	1" x 36" (25mm x 914mm)
Anchor Bolt Projection	3-1/4" (83mm)	3-1/4" (83mm)	4" (102mm)	4" (102mm)
Base Plate Opening for Wireway Entry	3-5/8" (92mm)	4-3/4" (121mm)	4-5/8" (117mm)	5-5/8" (143mm)
Base Plate Dimensions	10-1/8" sq. x 3/4" thk. (257mm x 19mm)	10-1/8" sq. x 3/4" thk. (257mm x 19mm)	10-1/8" sq. x 1" thk. (257mm x 25mm)	12" sq. x 1-1/8" thk. (305mm x 29mm)

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the base plate templates.

EPA INFORMATION

All LSI Industries' poles are guaranteed to meet the EPA requirements listed. LSI Industries is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located.

CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. LSI Industries cannot accept responsibility for harm or damage caused in these situations.

NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: poles designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPAs are for locations 100 miles away from hurricane ocean lines. Consult LSI for other areas. Note: Hurricane ocean lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Florida or Canada, consult factory.



Project Name

Moo Moo Marysville

Fixture Type

P1, P2, P3 Poles

Catalog #

5SQB5 S11G 20' S GA 5BC BLK DF15'

06/29/16

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LSI INDUSTRIES INC.



Engineering, Planning and Zoning
City Hall, 209 S. Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 7, 2016

To: City of Marysville
Design Review Board

From: Chad Flowers
City Planner

RE: Planning Staff Report – Green Pastures Apartments

Exterior Plan/Landscape Plan: An application for a new ten four-unit apartment building complex on property located on the northwest corner of Emmaus and Damascus Roads in the R-4 (Low Density Multi-Family Residential) zoning district.

Applicant: John Connolly, Owner's Representative
Connolly Construction Co.
179 Emmaus Road
Marysville, OH 43040

Owner: Connolly Construction Co.
179 Emmaus Road
Marysville, OH 43040

PROJECT HISTORY:

The applicant is proposing to construct a new forty (40) unit apartment complex on a 5.6 acre parcel currently zoned as R-4 (Low Density Multi-Family Residential). Multi-Family is a permitted use in the R-4 (Low Density Multi-Family Residential) zoning district.

Location:

The 5.6 Acre parcel is located on the NW corner of Emmaus and Damascus Roads. Property to the north is zoned R-4 (Low Density Multi-Family Residential). Property to the West is zoned A-R (Agricultural Residential). Property to the south is zoned R-2 (Medium Density Single Family Residential) and Property to the east is zoned HMD (Hospital Medical District).

ENGINEERING STAFF ANALYSIS:

- Due to the lack of engineering detail included within this submittal, the City reserves the right to make additional comments during the Final Engineering review as part of the City's Zoning Permit process.

Coordinate with the City Engineer's Office regarding the following final engineering related items:

- Water Quality requirements for the proposed stormwater management system
- Utility connections (public water and wastewater)
- Proposed grading and drainage
- Fire Department approval for the Fire Protection system (if applicable)
- Per City Standards, all drive approaches shall be concrete within the City's Right-of-Way.
- Please provide an easement for the proposed sidewalk outside the Emmaus Road Right-of-Way.

PLANNING & ZONING STAFF ANALYSIS:

After review of the submitted application materials, the following information is to guide discussion between the Board and the applicant.

Site Plan:

The Proposed buildings meets all setback requirements.

City zoning code section 1135.06 Low Density Multi-Family District (R-4), permits low density multi-family dwelling units not to exceed eight (8) units per gross acre. The total acreage of the subject parcel is 5.6 acres, allowing a maximum of 44 dwelling units on-site. The proposed application provides 40 units on-site below the maximum number of units allowed.

Landscaping:

The applicant is proposing street trees along Emmaus and Damascus Roads. Each street having a different variety and each being large deciduous shade trees.

Per section 1140.07 (b)(1)(B) of the zoning code, all vehicular use areas adjacent to the public right-of-way must be screened by a 36" tall hedge, mound or fence at an 80% opacity. The applicant has not provided any screening along the Damascus Road frontage to screen the vehicular access areas. Evergreen plantings will need to be added along the entry drive and extended north and south to screen this area from Damascus Road.

The proposed plans do not show the locations for the building utility boxes/mechanical equipment. Per code 1144.10(c) all utility boxes and/or mechanical equipment (ac units, electric meters, etc.) shall be screened.

All other landscape planting requirements have been met.

Parking & Access Drives/Pedestrian Safety:

Per code section 1141.12(f)(1)(E), 2 spaces per unit plus guest parking at a rate of 1 space per 4 units is required. The proposed plans provide two car garages with driveways meeting the minimum parking requirements.

Stormwater/Water/Sewer:

No comment – The applicant must work with the City Engineering Department to make sure all required City stormwater specifications are met.

Access Management:

The site is accessed by vehicular traffic by a single curb-cut access off of Damascus Road. The applicant is also installing new sidewalk along the entire street frontage on Damascus and Emmaus Roads.

Building Materials & Colors (including roofing):

The applicant has provided the front, back, right side and left side elevations for the proposed buildings. Materials on the elevations include:

Walls:	Dutch Lap Vinyl Siding, Color: Cypress Centurion Cultured Stone, Color: Bucks County Rubble
Shutter:	Vinyl Board & Batten Shutter, Color: Federal Brown
Trim:	Aluminum, Color: Desert Tan
Soffit:	Vinyl, Color: Country Beige
Gutter & Downspouts	Material not specified, Color: Wicker
Roof:	Certainteed Shingles, Color: Weathered Wood
Windows:	Vinyl, Color: Almond
Garage Doors:	Steel Prefinished, color: Desert Tan
Front entry door:	Fiberglass, Color: Federal Brown

The proposed project is located on property located in the R-4 zoning district and are subject to code section 1144.09 Design Review Standards for Multi-Family Residential Design Review District (DRD-1).

Per code section 1144.09 building materials shall be of high quality and durability, and architectural features should be used to create visual interest and Livability of multi-family dwellings. Building facades shall be constructed with one or more of the following materials: solid wood, brick, stone, stucco, contemporary durable materials, with minimal use of vinyl, aluminum or metal siding. The exteriors on a minimum of forty (40%) of the façade of buildings shall incorporate brick, brick veneer, stone, stone veneer, split face block, stucco, glass, decorative block, EFIS, or other contemporary durable materials that have the appearance of stone, brick or stucco or other natural materials.

The proposed plans/elevations of the unit buildings provide decorative materials on the all facades but no area calculations have been provided. The applicant will need to provide area calculations to ensure that the 40% decorative materials.

Facades & Exterior Walls:

No comment – See Building Materials. The applicant has provided a color rendering of the building with their application.

Fencing:

No Comment

Lighting:

The applicant has provided a site lighting plan for review. The applicant is proposing to use black LED Coach Lights on each side of the garage doors on the facade of each building.

City staff understands the applicants desire to keep site lighting levels at a minimum to reduce glare into the apartment building units. That being said, staff suggests adding one coach light fixtures adjacent to each front entry door. Staff also suggests adding some site lighting along the interior roadway and near the mail kiosk and added security and safety purposes.

Trash Enclosures:

The applicant has not provided a trash dumpster on-site. The applicant has indicated that all trash will be collected from each unit by a private contractor.

Signs:

The applicant is proposing a 5'-0" tall x 5'-6" wide stone w/ limestone cap monument sign. The sign will be located at the corner intersection and will have landscaping at the base. The applicant shall work with the City Zoning Administrator to obtain appropriate signage permits.

Additional Information:

Should the submitted application be approved; the Board may wish to remind the applicant of the following:

- Applicant shall work with City Zoning, City Engineer and County Building staff to obtain all proper reviews and permits prior to the commencement of the subject project.
- Exterior Plan approval shall be for a period not to exceed two years from the approval date of the Exterior Plan. If no construction has begun within two years after approval is granted, the approved Exterior Plan shall become null and void.

Staff Recommendation

City staff has worked with the applicant through the design phase of the project. Staff recommends that the Design Review Board 'Approve' the application with the following conditions:

1. The applicant add landscape screening along the vehicular access fronting Damascus Road.

2. The applicant provide area calculations to ensure that the 40% decorative materials requirement is met for the building wall elevations.
3. The applicant screen all utility boxes and/or mechanical equipment (ac units, electric meters, etc.) on-site.
4. The applicant add Coach Light fixtures at each main entry door.
5. The applicant add site lighting along the interior roadway and the mail kiosk for security and safety purposes.
6. Work with the City Zoning Administrator to obtain appropriate signage permits.

If you have any questions or comments about the aforementioned comments, please feel free to contact me at (937) 645-7361 or via email at cflowers@marysvilleohio.org.

Cc: J. Hoyt
R. Todd



209 S. Main Street • Marysville, Ohio 43040
Phone: (937) 645-7350 • Fax: (937) 645-7351 • www.marysvilleohio.org

**DESIGN REVIEW BOARD APPLICATION
EXTERIOR PLAN / LANDSCAPE PLAN**

***** IMPORTANT INFORMATION – Please read before completing the application *****

- **Required** - An application, in writing for the approval of the Exterior Plan, together with twelve (12) copies of the Exterior Plan and the required supplementary information requested in this application.
- Applications and applicable fees shall be submitted by no later than 5:00 p.m. on the application deadline date.
- Submitted application and all checklist items shall be reviewed by City staff for completeness. Submittals found to be incomplete will be rejected and the application will not be placed on the Board agenda. If an application is found to be incomplete, the applicant may submit the missing materials by the application deadline date to complete the application.
- No late submittals or additional information will be accepted after the application deadline.
- Exterior work that requires approval by the Design Review Board shall not commence until approval is granted by the Design Review Board and the appropriate approved permits are obtained.

Project Site Information *(Please print clearly)*

Project Street Address: NW Corner of Emmaus and Damascus Roads Property Zoning District: R-4

Company / Business Name: Connolly Construction Co.

Description of Proposed Project: Ten four-unit apartment buildings, each unit is 2-bedroom/2 bath/2 car garage

Owner of Property: Connolly Construction Co.

Owner's Address (Street): 179 Emmaus Rd. Mail: PO Box 271

City, State and Zip Code: Marysville, OH 43040

Owner's Telephone Number: (937) 644-8831

Applicant Information *(Please print clearly)*

Applicant: John Connolly, Owner's Representative Owner Agent Representative Other

Company: Connolly Construction Co.

Address (street): 179 Emmaus Rd. Mail: PO Box 271

City, State, and Zip Code: Marysville, OH 43040

Telephone Number: (937) 644-8831

E-mail Address: john@connollyconstruction.com

I hereby attest to the truth and exactness of all information supplied on and with this application.

Applicant's Signature: *John J. Conolly, OWNER REPRESENTATIVE*

Date: 8/24/16

Owner's Signature: *[Signature]*

Date: 8/27/16

FOR OFFICE USE ONLY

Received (stamp):

Fees: _____

The application has been reviewed and is found to be complete.

City Staff

Date

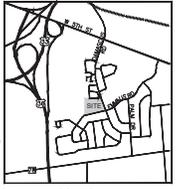
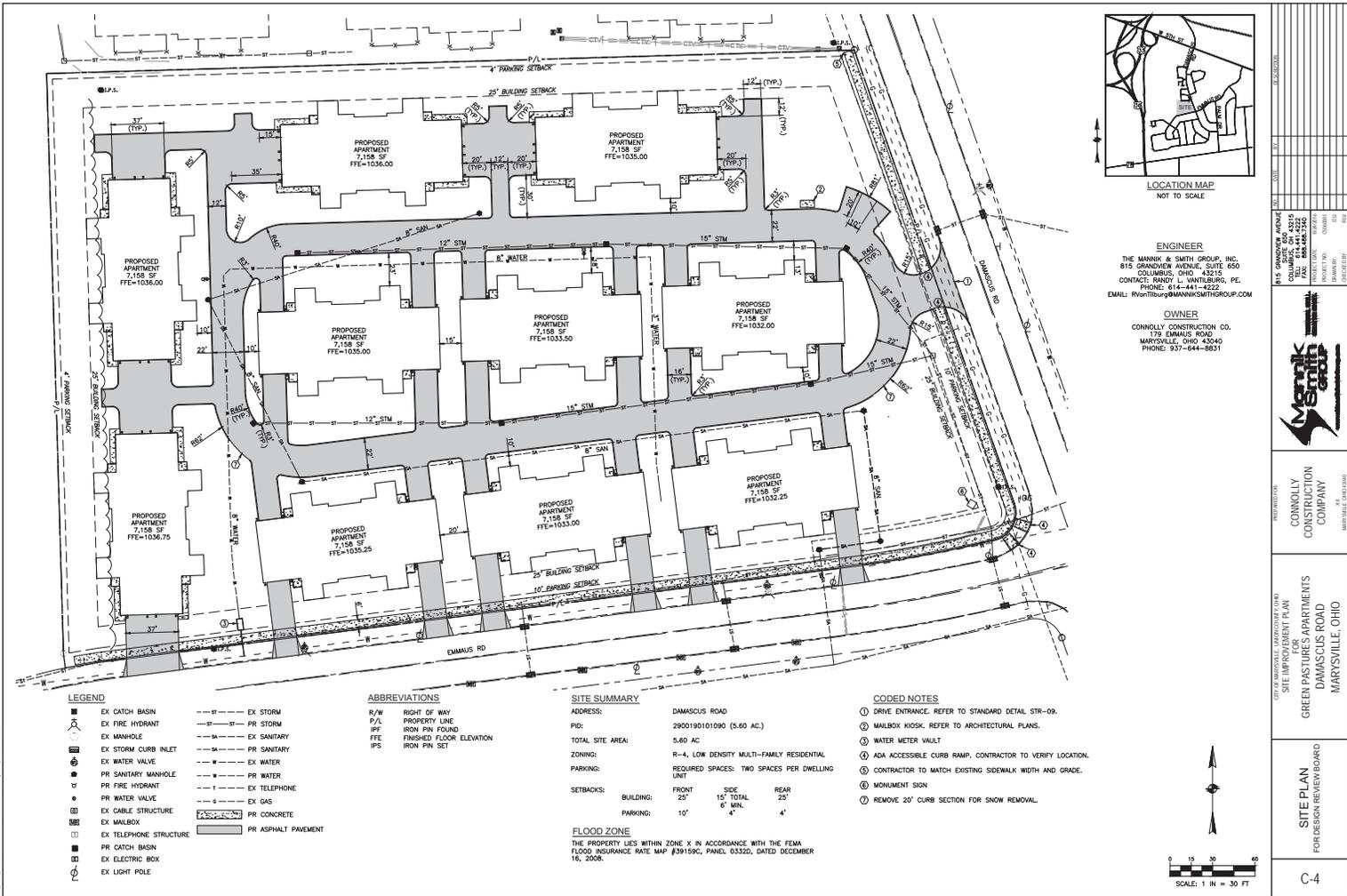
DECISION OF THE DESIGN REVIEW BOARD

- Approved
- Disapproved
- Approved with conditions (provided below)

Specific Conditions of Approval:

Chairperson, Design Review Board

Date



ENGINEER
 THE MANN & SMITH GROUP, INC.
 815 GRANDVIEW AVENUE, SUITE 600
 COLUMBUS, OHIO 43215
 CONTACT: RANDY L. WATTEBURG, P.E.
 PHONE: 614-441-4222
 EMAIL: RWat@tmg.com; MANN&SMITHGROUP.COM

OWNER
 CONNOLLY CONSTRUCTION CO.
 179 EMMANUS ROAD
 MARYSVILLE, OHIO 43040
 PHONE: 937-544-8631

<p>PROJECT NO. 2024-001</p> <p>DATE: 10/20/24</p> <p>SCALE: AS SHOWN</p> <p>PROJECT NAME: GREEN PASTURES APARTMENTS</p> <p>CLIENT: CONNOLLY CONSTRUCTION COMPANY</p> <p>LOCATION: DAMASCUS ROAD, MARYSVILLE, OHIO</p>	<p>PREPARED BY: R. WATTEBURG</p> <p>CHECKED BY: R. WATTEBURG</p> <p>DATE: 10/20/24</p>
<p>THE MANN & SMITH GROUP</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>CONNOLLY CONSTRUCTION COMPANY</p> <p>REGISTERED PROFESSIONAL ENGINEER</p>	
<p>CITY OF MARYSVILLE, DEPARTMENT OF PUBLIC UTILITIES</p> <p>SITE IMPROVEMENT PLAN FOR PARKING</p> <p>GREEN PASTURES APARTMENTS</p> <p>DAMASCUS ROAD</p> <p>MARYSVILLE, OHIO</p>	
<p>SITE PLAN FOR DESIGN REVIEW BOARD</p> <p>C-4</p>	

LEGEND

- EX CATCH BASIN
- EX FIRE HYDRANT
- EX MANHOLE
- ▬ EX STORM CURB INLET
- EX WATER VALVE
- PR SANITARY MANHOLE
- PR FIRE HYDRANT
- PR WATER VALVE
- EX CABLE STRUCTURE
- EX MAILBOX
- EX TELEPHONE STRUCTURE
- PR CATCH BASIN
- EX ELECTRIC BOX
- EX LIGHT POLE
- ST --- EX STORM
- SF --- PR STORM
- SA --- EX SANITARY
- SR --- PR SANITARY
- W --- EX WATER
- PR --- PR WATER
- T --- EX TELEPHONE
- G --- EX GAS
- PR --- PR CONCRETE
- PR --- PR ASPHALT PAVEMENT

ABBREVIATIONS

- R/W RIGHT OF WAY
- P/L PROPERTY LINE
- IPF IRON PIN FOUND
- FFE FINISHED FLOOR ELEVATION
- IPS IRON PIN SET

SITE SUMMARY

ADDRESS: DAMASCUS ROAD
 PID: 2900190101090 (5.60 AC.)
 TOTAL SITE AREA: 5.60 AC.
 ZONING: R-4, LOW DENSITY MULTI-FAMILY RESIDENTIAL
 REQUIRED SPACES: TWO SPACES PER DWELLING UNIT
 SETBACKS: BUILDING FRONT 25' SIDE 15' TOTAL REAR 25'
 PARKING: 10' 6' MIN. 4'

FLOOD ZONE

THE PROPERTY LIES WITHIN ZONE X IN ACCORDANCE WITH THE FEMA FLOOD INSURANCE RATE MAP #39159C, PANEL 03320, DATED DECEMBER 16, 2006.

CODED NOTES

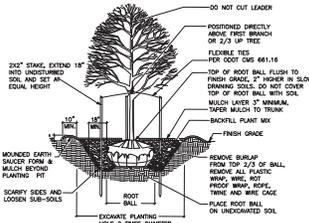
- ① DRIVE ENTRANCE. REFER TO STANDARD DETAIL STR-09.
- ② MAILBOX KIOSK. REFER TO ARCHITECTURAL PLANS.
- ③ WATER METER VAULT
- ④ ADA ACCESSIBLE CURB RAMP. CONTRACTOR TO VERIFY LOCATION.
- ⑤ CONTRACTOR TO MATCH EXISTING SIDEWALK WIDTH AND GRADE.
- ⑥ MONUMENT SIGN
- ⑦ REMOVE 20' CURB SECTION FOR SNOW REMOVAL.



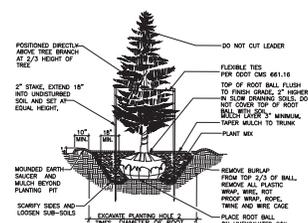
GENERAL LANDSCAPE PLANTING NOTES

1. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN, ANY TREES, SHRUBS, GRASS COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
3. REFER TO THE LANDSCAPE SCHEMATIC PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF ODOT CONSTRUCTION.
4. ALL PLANTING MATERIALS SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
5. PLANTING BEDS: ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBICIDIOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTOTILLER.
6. BACKFILL MIX: FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
 - A. ONE PART EXCAVATED SOIL
 - B. ONE PART EPA RATED CLASS IV COMPOST
 - C. A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
 IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX. NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
7. MULCH: SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDED HARDWOOD BARK AGED MIN. ONE YEAR, RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES, AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
8. PERIOD OF ESTABLISHMENT: BEFORE FINAL INSPECTION, PLACE ALL PLANTS AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
9. RESTORATION OF DISTURBED AREAS FOR NEW LAWN: ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDING. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/WHEAT BLANKET COVER PLACED OVER THE SEEDED AREAS PER ODOT SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESSC 18-24-12 OR EQUAL).
10. LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
11. TURF GROUNDCOVER (SODDING, SEEDING AND SEED MULCHING): ALL SEEDING INSTALLATION SHALL CONFORM TO ODOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE:

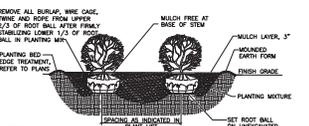
TIM TALL-TYRE TURF FESCUE	70%
OR 4100 PERENNIAL PEEGRASS	20%
MERT KENTUCKY BLUEGRASS	10%



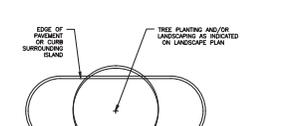
DECIDUOUS TREE PLANTING DETAIL
NO SCALE



EVERGREEN TREE PLANTING DETAIL
NO SCALE

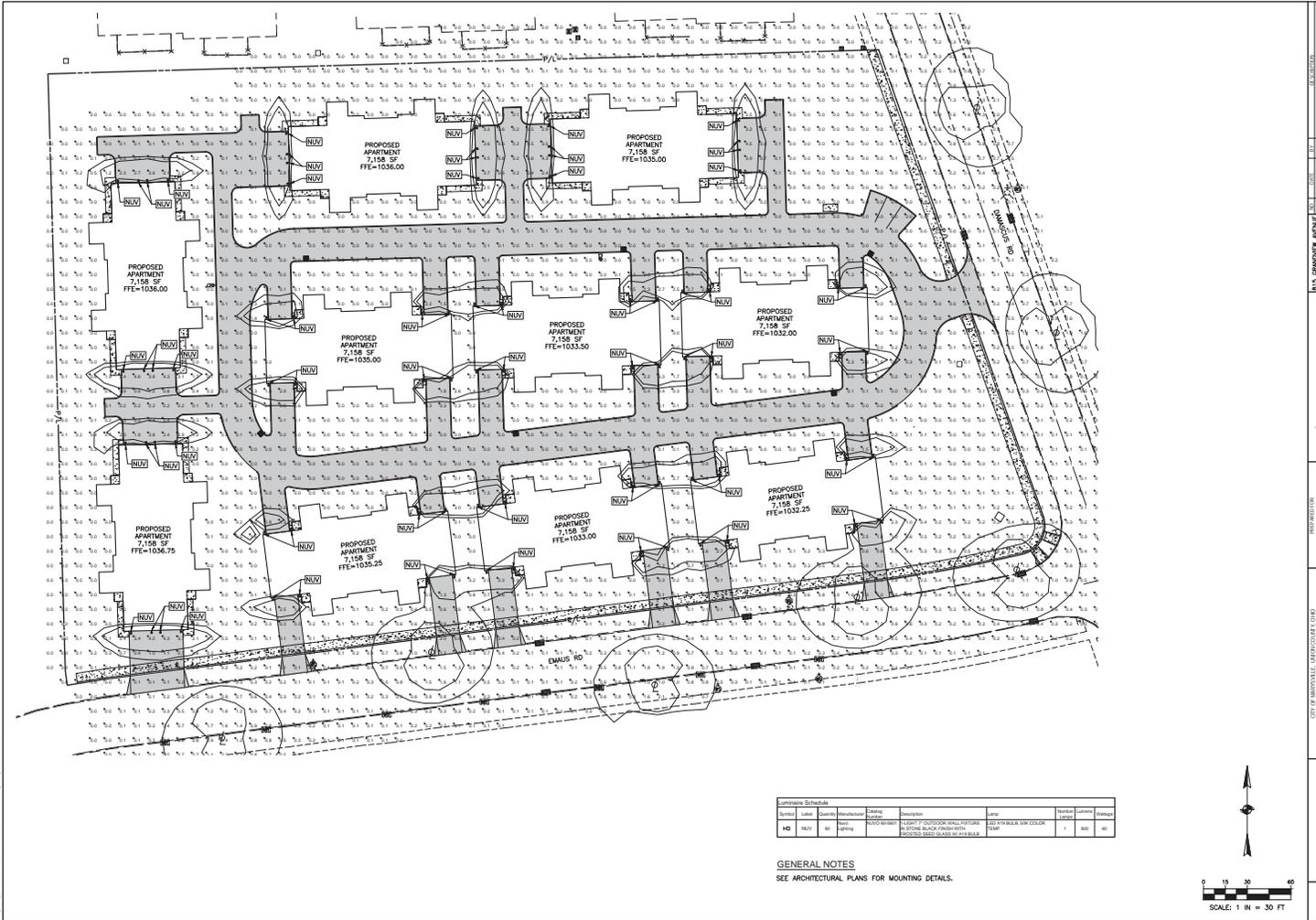


MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)
NO SCALE



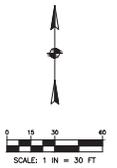
TYPICAL ISLAND MULCHING DETAIL
NO SCALE

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20
CITY OF MARYSVILLE, OHIO DEPARTMENT OF PUBLIC WORKS SITE IMPROVEMENT PLAN FOR GREEN PASTURES APARTMENTS DAMASCUS ROAD MARYSVILLE, OHIO																			
LANDSCAPE NOTES & DETAILS FOR DESIGN REVIEW BOARD																			
CONNOLLY CONSTRUCTION COMPANY PROJECT NO. 2024-001 DRAWN BY: [Name] CHECKED BY: [Name] DATE: [Date]																			
C-11																			



Luminaire Schedule							
Symbol	Label	Control	Mounting	Height	Notes	Quantity	Notes
HD	HD	W	W	1000	1000	1	SEE ARCHITECTURAL PLANS FOR MOUNTING DETAILS.

GENERAL NOTES
SEE ARCHITECTURAL PLANS FOR MOUNTING DETAILS.



<p>PROJECT: GREEN PASTURES APARTMENTS 115 WINDSOR AVENUE COLUMBUS, OH 43215 PHONE: 614.291.1111 FAX: 614.291.1112</p> <p>Mark Group</p> <p>ARCHITECT: CONNOLLY CONSTRUCTION COMPANY PROJECT NO. 20200001 DRAWN BY: J.S. CHECKED BY: J.S.</p> <p>CITY OF WINDSOR, DEPARTMENT OF PUBLIC SAFETY PROJECT NO. 20200001 GREEN PASTURES APARTMENTS DAMASCUS ROAD MARYSVILLE, OHIO</p> <p>LIGHTING PLAN</p>	<p>DATE: 11/11/2020 TIME: 10:00 AM SHEET NO. C12 TOTAL SHEETS: 12</p> <p>C12</p>
--	---



Gutters & Downspouts

Color: Wicker

Certainteed Shingles

Color: WeatheredWood

**Dutch Lap
Vinyl Siding**

Color: Cypress

Aluminum Trim

Color: Desert Tan

Vinyl Soffit

Color: Country Beige



**Vinyl Board &
Batten Shutter**

Color: Federal Brown

Vinyl Windows

Color: Almond

**Centurion
Cultured Stone**

Color: Bucks County Rubble

Gutters & Downspouts

Color: Wicker

Certainteed Shingles

Color: WeatheredWood

**Dutch Lap
Vinyl Siding**

Color: Cypress

Aluminum Trim

Color: Desert Tan

Vinyl Soffit

Color: Country Beige



**Steel Prefinished
Garage Door**

Color: Desert Tan

Coach Lights

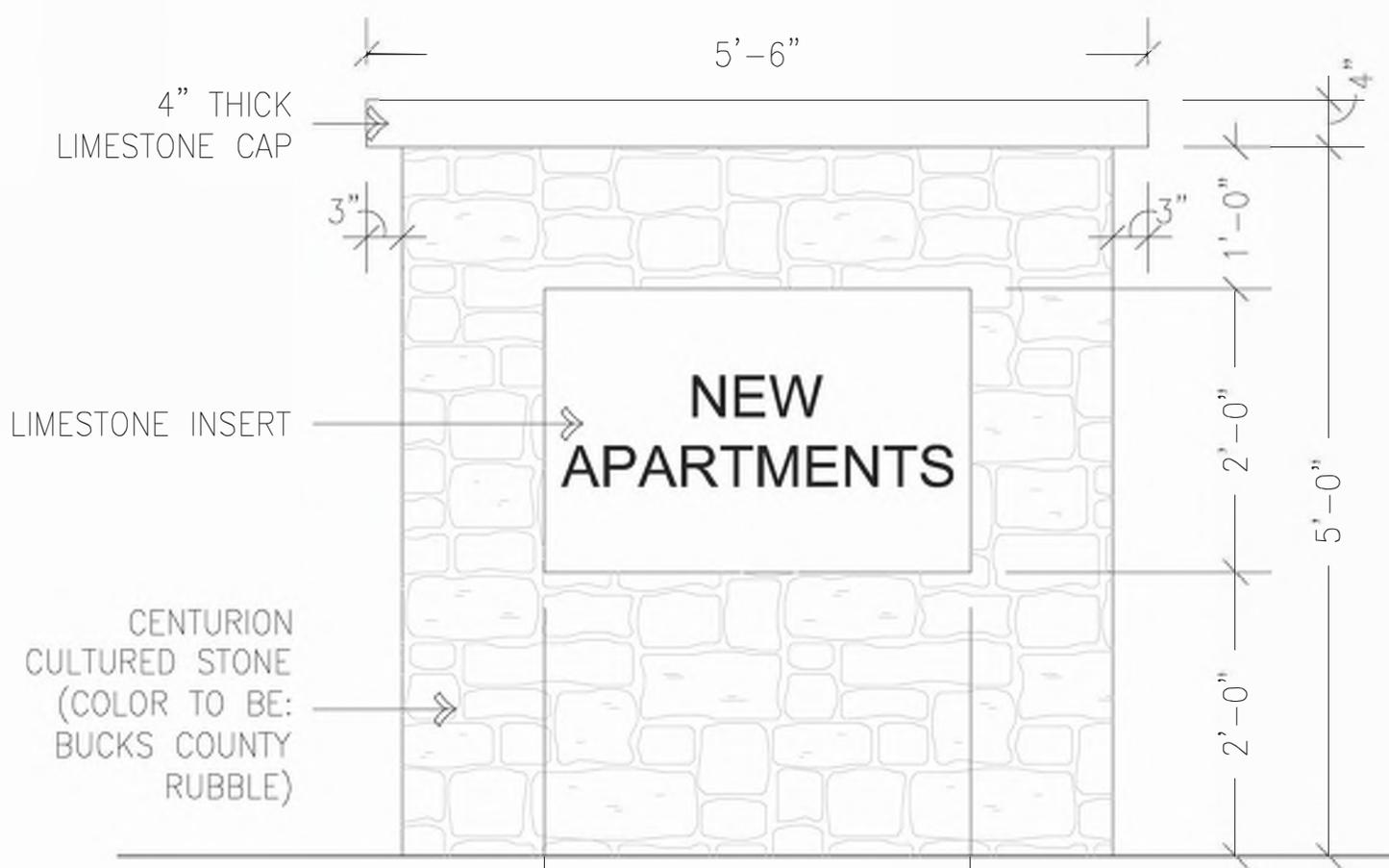
Color: Black

Vinyl Windows

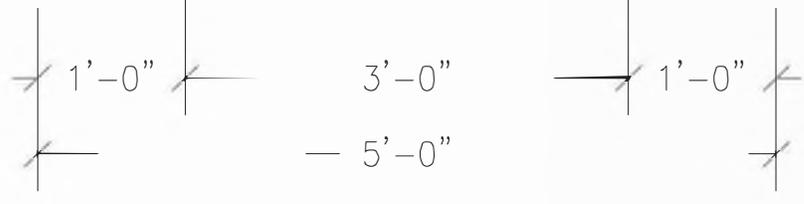
Color: Almond

**Centurion
Cultured Stone**

Color: Bucks County Rubble



FOUR-SIDED APARTMENT SIGN.
 THREE FACES AS SHOWN
 (NORTH, EAST, & SOUTH).
 WEST FACE AS SHOWN, BUT
 LIMESTONE INSERT WITH NAME
 OMITTED.



Acer saccharum 'Green Mountain'



[Be the first to comment on this plant](#)

[Tried and Trouble-free](#) Recommended by 5 Professionals

Common Name: sugar maple

Type: Tree

Family: Sapindaceae

Zone: 4 to 8

Height: 40.00 to 60.00 feet

Spread: 25.00 to 45.00 feet

Bloom Time: April

Bloom Description: Yellowish green

Sun: Full sun to part shade

Water: Medium

Maintenance: Low

Suggested Use: Shade Tree, Street Tree

Flower: Insignificant

Leaf: Good Fall

[Garden locations](#)

Noteworthy Characteristics

Acer saccharum commonly known as sugar maple is a deciduous, Missouri native tree which will typically grow 40' to 80' tall (sometimes to 100') with a dense, rounded crown. This tree is a main component of the Eastern U.S. hardwood forest and is one of the trees which is most responsible for giving New England its reputation for spectacular fall color. Medium green leaves (3-6" wide with 3-5 lobes) turn yellow-orange in autumn, sometimes with considerable color variations. Fruit is the familiar two-winged samara. Sugar maples are long-lived trees which grow relatively slowly (somewhat faster in the first 35 years). Native Americans taught the early colonists how to tap these trees to make maple syrup which has now become a multi-billion dollar industry in the U.S. and Canada. Excellent shade tree. The sugar maple leaf is the national symbol of Canada.

Genus name is the Latin name for a maple tree.

Specific epithet means sugary in reference to the sweet sap. *Saccharum* is the genus name for sugarcane.

'Green Mountain' is a popular and well-established cultivar that typically grows 40-60' tall in cultivation. It has a broad pyramidal form. It is noted for its (1) rapid growth rate, (2) straight central trunk branching to a narrow ovate head, (3) thickened and strong crotches, (4) thick deep green foliage and (5) resistance to leaf hoppers and leaf scorch. Deeply cut, leathery, dark green leaves (each to 6" long and 8" wide) turn excellent shades of orange and scarlet in fall. Pale yellowish-green flowers appear in clusters in spring before the leaves emerge. Flowers give way to clusters of paired samaras. U. S. Plant Patent PPO2,339 was issued on January 7, 1964.

Problems

No serious insect or disease problems. Susceptible to verticillium wilt, anthracnose, cankers, leaf spot and tar spot. Also susceptible to aphids, borers and scale. Leaf scorch may be a problem in drought conditions. Has been frequently used as a street tree, but is generally intolerant of road salt, soil compaction and pollution.

Garden Uses

Excellent specimen tree for the lawn or parks with beautiful fall color. May be used as a street tree as long as it can be located on a street and in a location where road salt, soil compaction and pollution will not be significant problems.

Buxus sinica var. *insularis* 'Winter Gem'



★★★★★, See Comments

[More Images](#)

[Tried and Trouble-free](#) Recommended by 9 Professionals

Common Name: Korean boxwood

Type: Broadleaf evergreen

Family: Buxaceae

Zone: 5 to 9

Height: 2.00 to 3.00 feet

Spread: 2.00 to 3.00 feet

Bloom Time: April

Bloom Description: Yellowish-green

Sun: Full sun to part shade

Water: Medium

Maintenance: Low

Suggested Use: Hedge

Flower: Insignificant

Leaf: Evergreen

Other: Winter Interest

Tolerate: Rabbit, Deer

[Garden locations](#)

Culture

Best grown in average, medium moisture, well-drained soil in full sun to part shade. Prefers sun-dappled part shade and moist, sandy loams with a slightly acidic to slightly alkaline pH. Tolerant of pruning and shearing. Avoid cultivating around plants because they have shallow roots. Roots appreciate a good mulch (1-2 "). Thin plants and remove dead/damaged branches annually to improve air circulation. In USDA Zone 5, this boxwood is best sited in a sheltered location which protects it in winter from strong winds and full sun. Carefully remove heavy snow accumulations from plants as quickly as practicable to minimize stem/branch damage. Among the various types of boxwoods, Korean boxwoods are generally noted for having the best winter hardiness and are good selections for the St. Louis area.

Noteworthy Characteristics

Buxus sinica var. *insularis*, commonly called Korean littleleaf boxwood, is a dense, compact, many-branched, broad, mounded evergreen shrub with a loose and open habit. A slow grower (to 1.5" per year) which is typically grown as a 2-2.5' tall shrub with a larger spread, but which can reach 5' tall after 25 years if not pruned lower. An extremely hardy variety that is a good choice for northern climates. Apetalous, greenish yellow flowers (separate male and female flowers on the same plant) appear in spring. Flowers are sparse and insignificant, but quite fragrant. Small, ovate, light yellowish green to medium green leaves (to 3/4" long). Formerly known as and sometimes still sold as *Buxus microphylla* var. *koreana*.

Genus name comes from the Latin name for plants in this genus.

Specific epithet means Chinese.

Common name of boxwood is in reference to the prior use of the wood to make boxes. Another theory on common name is that boxwood describes the quadrangular (square box cross section) stems of young plants.

'Winter Gem' is a Korean boxwood that typically matures to 2-3' tall and as wide. Synonymous with and sometimes sold in commerce as *Buxus microphylla* var. *japonica* 'Winter Gem' or *Buxus microphylla* var. *koreana* 'Winter Gem.'

Problems

Boxwoods can be somewhat temperamental plants to grow in the St. Louis area where foliage tends to bronze (turn unattractive brownish yellow) in harsh winters, particularly if plants are located in open areas exposed to winter winds. Otherwise, requires little care other than pruning. Some susceptibility to blight and leaf spots. Root rot can be a problem in poorly drained soils. Shows good resistance to the three main insect pests of boxwood (leaf miner, psyllids and mites).

'Winter Gem' is noted for its ability to retain good green foliage throughout winter.

Garden Uses

Small hedge or mass as a ground cover. Also useful as specimens or in small groups in a variety of landscape applications including shrub borders or foundation plantings. Bonsai plant.

Cornus alba 'Sibirica'



★★★★★, See Comments

[More Images](#)

[Tried and Trouble-free](#) Recommended by 2 Professionals

Common Name: tatarian dogwood

Type: Deciduous shrub

Family: Cornaceae

Zone: 3 to 7

Height: 4.00 to 7.00 feet

Spread: 3.00 to 5.00 feet

Bloom Time: May to June

Bloom Description: Yellowish-white

Sun: Full sun to part shade

Water: Medium

Maintenance: Low

Suggested Use: Hedge, Rain Garden

Flower: Showy

Leaf: Good Fall

Attracts: Birds, Butterflies

Fruit: Showy

Other: Winter Interest

Tolerate: Rabbit, Deer, Erosion

[Garden locations](#)

Culture

Best grown in organically rich, consistently moist, fertile, well-drained soils in full sun to part shade. Tolerant of a wide range of soils. Established shrubs tolerate some dry soils as well as occasional standing water. Trim roots with a spade and promptly remove root suckers if colonial spread is undesired. Best stem color occurs on young stems. Although pruning is not required, many gardeners choose to remove 20-25% of the oldest stems in early spring of each year to stimulate growth of new stems which will display the best color. As an alternative to annual pruning, some gardeners prune all stems close to the ground (coppice to 8") in early spring every 2-3 years to renew. Any loss of flowers through spring pruning is not terribly significant since the small flowers of this dogwood are small and rather ordinary. Plants become stressed and more vulnerable to diseases such as canker in hot summer climates south of USDA Zone 7.

Noteworthy Characteristics

Cornus alba, commonly called Tatarian dogwood, is a rapid-growing, multi-stemmed, suckering, deciduous shrub that is native to eastern and central Asia in areas in part inhabited by Tatars or Tartars. It typically matures to 8-10' tall. Creamy white flowers in flat-topped clusters (cymes to 2 1/2" across) bloom in late spring, sometimes with sparse, intermittent, additional flowering continuing into early summer. Flowers give way to white berries (drupes tinged with blue-green) which ripen in mid-summer. Fruits are attractive to birds. Ovate to elliptic leaves (to 4 1/2" long) are bright yellow in full sun but greenish yellow in part shade.

Tatarian dogwood is similar in appearance to redbud dogwood (*C. sericea/stolonifera*), but generally does not spread as aggressively.

Genus name comes from the Latin word *cornu* meaning horn in probable reference to the strength and density of the wood. *Cornus* is also the Latin name for cornelian cherry.

Specific epithet means white.

'Sibirica' is a tatarian dogwood cultivar that is noted for its brilliant red stems in winter that are particularly showy on sunny days with snow on the ground. It is a rapid-growing, multi-stemmed, suckering, deciduous shrub that grows to a maximum size of 4-7' tall on erect, usually unbranched stems. Tiny, yellowish-white flowers appear in flat-topped clusters (to 2.5" diameter) in late spring, with sparse, intermittent, additional flowering sometimes continuing into summer. Flowers give way to clusters of bluish-white drupes in summer. Fruit is quite attractive to birds and is generally considered to have as much if not more ornamental interest than the flowers. Ovate-elliptic, medium/dark green leaves (to 4.5" long) turn reddish purple in fall. Red winter stems gradually turn darker as spring approaches. Tatarian dogwood is similar to redbud dogwood (*C. sericea/stolonifera*), but generally does not spread as aggressively. Synonymous with and sometimes sold in commerce under *Cornus alba* 'Westonbirt'.

Problems

Susceptible to leaf spot, twig and leaf blights and canker. Scale, leaf miner and borers are occasional insect pests.

Garden Uses

Best in groups or massed. Naturalistic plantings in moist soils where plants are allowed to spread and form thickets. Property line screens. Hedges. Shrub borders. Site shrubs as accents in areas where key ornamental feature, the stem color, can be appreciated. For an interesting bicolor winter stem display, combine with a contrasting stem color.

Euonymus alatus 'Compactus'



★★★★☆, See Comments

[More Images](#)

Common Name: dwarf-winged burning bush

Type: Deciduous shrub

Family: Celastraceae

Zone: 4 to 8

Height: 9.00 to 11.00 feet

Spread: 9.00 to 11.00 feet

Bloom Time: May to June

Bloom Description: Yellow/green

Sun: Full sun to part shade

Water: Medium

Maintenance: Low

Suggested Use: Hedge

Flower: Insignificant

Leaf: Good Fall

Tolerate: Clay Soil, Black Walnut

Invasive: [Where is this species invasive in the US?](#)

[Garden locations](#)

Culture

Easily grown in average, medium moisture, well-drained soil in full sun to part shade. Tolerates close to full shade, but usually at the expense of diminished fall color quality. This is an adaptable shrub that tolerates a wide range of soils except for wet, poorly-drained ones. Plants appreciate consistent moisture, particularly when grown in full sun locations.

Noteworthy Characteristics

Euonymus alatus, commonly called winged euonymus, burning bush, winged burning bush or winged spindle tree, is a dense, mounded, spreading, flat-topped, multi-stemmed shrub that is particularly noted for its fiery red fall foliage color. It is native to forests, woodlands and scrub areas in eastern Russia, Japan, China and Korea. It was introduced into the U.S. around 1860 as an ornamental, and over time has become an extremely popular shrub for homes, commercial properties and along highways. This shrub will mature over time to 15-20' tall, but is often pruned shorter. Elliptic to obovate, crenulate to serrulate, green leaves (to 3" long) turn bright red in fall. Fall color can be spectacular. Small, yellowish-green flowers appear in May but are not showy. Small

fruits (1/3" red capsules) ripen in fall. Fruit capsules split open when ripe to reveal the tiny seeds (each encased in a fleshy orange-red aril). Seeds are attractive to certain birds who eat and distribute them. Greenish-brown stems have distinctive corky ridges ("wings" as used in the common name). Corky-winged stems are more noticeable in winter after leaf drop. Winged euonymus has escaped plantings and naturalized in at least 21 eastern and mid-western states. In some areas, it is now considered to be a threat to native plants because of its ability to establish itself in woodlands, forests, fields, roadsides and disturbed areas where, if conditions are favorable, it will out-compete native plants to form dense thickets.

Genus name is an ancient Greek name referring to plants of this genus.

Specific epithet means winged.

'Compactus' is a popular burning bush cultivar. It is a deciduous shrub which is not all that "compact" since it typically grows in a mound to 10' tall with a slightly larger spread, though it can easily be kept shorter by pruning. The corky ridges are absent or very reduced in size on the stems of 'Compactus'. For a truly compact burning bush, see *Euonymus alatus* 'Rudy Haag' which typically grows from 3-5' tall.

Problems

No serious insect or disease problems. Twig blight may occur, particularly in wet soil conditions. Watch for spider mites.

Garden Uses

This shrub produces excellent fall color. Specimen/accent, group or mass. Foundations, shrub borders, screen or hedge.

Gleditsia triacanthos f. *inermis* 'Skycole'

SKYLINE



[Be the first to comment on this plant](#)

[More Images](#)

[Tried and Trouble-free](#) Recommended by 7 Professionals

Common Name: honey locust

Type: Tree

Family: Fabaceae

Zone: 3 to 8

Height: 35.00 to 45.00 feet

Spread: 25.00 to 35.00 feet

Bloom Time: May to June

Bloom Description: Greenish-white

Sun: Full sun

Water: Medium

Maintenance: Medium

Suggested Use: Shade Tree, Street Tree

Flower: Showy

Tolerate: Deer, Drought, Clay Soil, Black Walnut, Air Pollution

[Garden locations](#)

Culture

Best grown in organically rich, moist, well-drained soils in full sun. Tolerant of a wide range of soils. Also tolerant of wind, high summer heat, drought and saline conditions.

Noteworthy Characteristics

Gleditsia triacanthos, commonly called honey locust, is native from Pennsylvania to Iowa south to Georgia and Texas. It typically grows 60-80' (less frequently to 120') tall with a rounded spreading crown. Trunk and branches have stout thorns (to 3" long) that are solitary or three-branched. Inconspicuous, greenish yellow to greenish white flowers appear in racemes in late spring (May-June in St. Louis). Flowers are followed by long, twisted and flattened, dark purplish-brown seedpods (to 18" long) which mature in late summer and persist well into winter. Seedpods contain, in addition to

seeds, a sweet gummy substance that gives honey locust its common name. Species plants are generally not sold in commerce today because the thorns and seedpods are considered to be significant liabilities.

Genus name honors Johann Gottlieb Gleditsch (1714-1786), medical doctor and one-time Director of the Berlin Botanical Garden.

Specific epithet comes from the Greek *acantha* meaning thorn and *tri* meaning three in reference to the three-branched thorns on species plants.

F. *inermis* is a thornless variety (*inermis* from Latin means unarmed) that occurs naturally in the wild. It grows to the same height as the thorny species plants. Cultivars of *G. triacanthos* which are sold in commerce today are all cultivars of f. *inermis* (no thorns and in many cases no seedpods make them preferred landscape plants). Pinnate to bipinnate dark green leaves with ovate leaflets (1/2" to 1 1/2" long) cast a sun-dappled shade. Leaves turn an attractive yellow in fall.

SKYLINE ('Skycole') features pyramidal growth with a central leader. It is a thornless and nearly seedless variety that typically grows to 40-45' tall. Pinnate to bipinnate dark green leaves with ovate leaflets (1/2" to 1 1/2" long) cast a sun-dappled shade. Leaves turn an attractive yellow in fall. US Plant Patent 1,619 was granted July 16, 1957.

Problems

Honey locust is susceptible to a large number of potential disease problems, including leaf spot, canker, witches' broom, powdery mildew and rust. Borers and webworms are common insect problems in some areas. Bagworms, plant bug, leafhopper and leaf miner may appear. Watch for spider mites.

Garden Uses

SKYLINE is a thornless and nearly seedless variety that is recommended for lawns and streets.

Hibiscus syriacus 'Antong Two' LIL' KIM



★★★★★, See Comments

Tried and Trouble-free Recommended by 1 Professionals

Common Name: rose of Sharon

Type: Deciduous shrub

Family: Malvaceae

Zone: 5 to 8

Height: 3.00 to 5.00 feet

Spread: 2.00 to 4.00 feet

Bloom Time: June to October

Bloom Description: White with red eye

Sun: Full sun to part shade

Water: Medium

Maintenance: Low

Suggested Use: Hedge

Flower: Showy

Attracts: Butterflies

Tolerate: Deer, Drought, Clay Soil, Black Walnut

Invasive: [Where is this species invasive in the US?](#)

[Garden locations](#)

Culture

Easily grown in average, medium moisture, well-drained soils in full sun to part shade. Best flowering occurs in full sun. Prefers moist, organically rich soils, but tolerates poor soils and some drought. Very tolerant of summer heat and humidity. Generally tolerant of urban conditions. Prune to shape in spring.

Noteworthy Characteristics

Hibiscus syriacus, commonly known as rose of Sharon, is a vigorous, upright, vase-shaped, multi-stemmed, deciduous shrub that typically grows 8-12' tall. It may be trained as a small tree or espalier. Showy, hollyhock-like, 5-petaled flowers (to 3" diameter) appear over a long, early-summer to fall bloom period. Each flower has a prominent and showy center staminal column. Palmately-veined, coarsely-toothed, three-lobed, medium green leaves (to 4" long). No fall color.

Genus name comes from the Latin and Greek names for the mallow.

Specific epithet suggests the plant comes from Syria which appears to be false because it is native to eastern Asia.

LIL' KIM is a miniature cultivar that only grows to 3-5' tall. It features small ruffled, white, single flowers with a red eye. Each flower reportedly lasts for about 3 days. Leaves are dark green. U. S. Plant Patent Applied For (PPAF).

Problems

No known serious insect or disease problems. Rose of Sharon plants typically have some susceptibility to leaf spots, blights, rusts and canker. Japanese beetles, whiteflies and aphids are occasional insect visitors. Japanese beetles can severely damage foliage if left unchecked.

Garden Uses

Unlike much larger species' plants, this compact flowering shrub is appropriate for smaller places in the landscape such as foundations, borders and around decks and patios. It may be massed, planted in groups or used as a specimen. It also can be effective as a small hedge.

Hydrangea paniculata 'Jane' LITTLE LIME



Be the first to comment on this plant

[More Images](#)

Common Name: panicle hydrangea

Type: Deciduous shrub

Family: Hydrangeaceae

Zone: 3 to 8

Height: 3.00 to 5.00 feet

Spread: 3.00 to 5.00 feet

Bloom Time: July to September

Bloom Description: Green maturing to pink-burgundy

Sun: Full sun to part shade

Water: Medium

Maintenance: Medium

Suggested Use: Hedge

Flower: Showy, Good Cut, Good Dried

Invasive: [Where is this species invasive in the US?](#)

[Garden locations](#)

Culture

Best grown in organically rich, medium moisture, well-drained soils in full sun to part shade. Can be trained as a small single trunk tree, but is best grown as a large, multi-stemmed shrub. May display best shrub form if regularly pruned to a height of 6-10' tall. This is one of the most winter hardy of the hydrangeas. It thrives in urban conditions. Bloom occurs on current season's growth, so prune as needed in late winter to early spring.

Larger flower panicles can be obtained by thinning the plants to 5-10 primary shoots. In full bloom, the weight of the flower panicles will typically cause the branches to arch downward.

Noteworthy Characteristics

Hydrangea paniculata, commonly called panicle hydrangea, is a vigorous, upright, rapid-growing, somewhat coarsely textured, deciduous shrub that is native to China and Japan. It typically grows to

8-15' (less frequently to 25') tall, and features oval to ovate dark green leaves and upright, sharply-pointed, conical, terminal flower panicles (to 6-8" long) containing both fertile and sterile flowers (mostly non-showy fertile flowers) that bloom from mid-summer into fall.

Genus name comes from *hydor* meaning water and *aggeion* meaning vessel in reference to the cup-like capsular fruit.

Specific epithet is in reference to the flowers being arranged in panicles.

'Jane', commonly sold under the trade name of LITTLE LIME, is a compact cultivar that typically grows in an upright rounded mound to 3-5' tall and as wide. It is the product of an open pollination in a planned breeding program that took place in Grand Haven, Michigan in August of 2005 between *Hydrangea paniculata* 'Limelight Variegated' (female parent) and an unknown selection of *Hydrangea paniculata* (male parent). 'Jane' is particularly noted for its large mophead type inflorescences (panicles to 5" tall by 4" wide), with sterile flowers emerging soft light green but maturing to pink and burgundy in fall. Additional features of interest include compact, upright-mounded shape, free branching habit and strong stems which hold the panicles upright with no drooping. Flowers typically bloom from July through September. Ovate, serrulate, dark green leaves (to 2 1/2" long) are attractive during the growing season, but produce generally undistinguished fall color. Flower panicles may be cut for fresh arrangements or for drying, or may be left on the plant where they often persist into winter. U. S. Plant Patent PP22,330 was issued on December 13, 2011.

Problems

No serious insect or disease problems. Some susceptibility to bud blight, bacterial wilt, leaf spot, rust and mildew. Aphids and mites are occasional visitors.

Garden Uses

Mass or group in the mixed shrub border or open woodland garden. Also effective as a lawn specimen, accent or hedge. Provides late summer bloom when few other shrubs are in flower.

Picea abies



★★★★★, See Comments

[More Images](#)

[Plant of Merit](#)

[Tried and Trouble-free](#) Recommended by 6 Professionals

Common Name: Norway spruce

Type: Needled evergreen

Family: Pinaceae

Native Range: Northern and central Europe

Zone: 2 to 7

Height: 40.00 to 60.00 feet

Spread: 25.00 to 30.00 feet

Bloom Time: Non-flowering

Bloom Description: Non-flowering

Sun: Full sun

Water: Medium

Maintenance: Low

Leaf: Evergreen

Attracts: Birds

Other: Winter Interest

Tolerate: Deer, Air Pollution

Invasive: [Where is this species invasive in the US?](#)

[Garden locations](#)

Culture

Easily grown in average, medium, well-drained soils in full sun. Best in cold climates, and will not grow well south of USDA Zone 7.

Noteworthy Characteristics

Picea abies, commonly called Norway spruce, is a large pyramidal evergreen conifer that is native to the mountains of northern and central Europe east to the Urals. In its native European habitat, it typically matures to 100-150' (occasionally to 200') tall. It has been widely planted in cool and temperate regions of North America where it typically matures to a much shorter 40-60' (less

frequently to 100') tall. It is noted for its rapid growth. Primary branches are slightly upturned but secondary branches become pendulous as the tree matures. Branches are clad with spirally-arranged, four-sided, needle-like, deep green leaves which are attached at their bases to tiny pegs. Cylindrical seed bearing cones (to 9" long) are pendulous. In excess of 150 cultivars (mostly dwarf) have been named over the years. Cultivars can be very difficult to distinguish.

Genus name is reportedly derived from the Latin word *pix* meaning pitch in reference to the sticky resin typically found in spruce bark.

Specific epithet refers to its similarity to the genus *Abies* (fir).

Problems

No serious insect or disease problems.

Garden Uses

Evergreen tree for large lawns, parks or woodland areas. Effective screen or windbreak in cold northern climates. Many dwarf cultivars of this species are available for foundation and rock garden plantings.

Quercus rubra



★★★★★, See Comments

[More Images](#)

[Tried and Trouble-free](#) Recommended by 7 Professionals

Species Native to Missouri

Common Name: red oak

Type: Tree

Family: Fagaceae

Native Range: Eastern North America

Zone: 4 to 8

Height: 50.00 to 75.00 feet

Spread: 50.00 to 75.00 feet

Bloom Time: May

Bloom Description: Yellowish-green

Sun: Full sun

Water: Dry to medium

Maintenance: Low

Suggested Use: Shade Tree, Street Tree

Flower: Insignificant

Leaf: Good Fall

Tolerate: Drought, Dry Soil, Black Walnut, Air Pollution

[Garden locations](#)

Culture

Easily grown in average, dry to medium moisture, acidic soil in full sun. Prefers fertile, sandy, finely-textured soils with good drainage.

Noteworthy Characteristics

A medium sized, deciduous tree with a rounded to broad-spreading, often irregular crown. Typically grows at a moderate-to-fast rate to a height of 50-75' (often larger in the wild). Dark, lustrous green leaves (grayish-white beneath) with 7-11, toothed lobes which are sharply pointed at the tips. Leaves turn brownish-red in autumn. Insignificant flowers in separate male and female catkins appear in spring. Fruits are acorns (with flat, saucer-shaped cups) which mature in early fall. An abundant crop of acorns may not occur before this tree reaches 40 years old. A Missouri native tree which typically occurs on northern- and eastern-facing wooded slopes throughout the State. Also commonly called northern red oak.

Problems

Generally a durable and long-lived tree. Susceptible to oak wilt which is a systemic fungal disease that has no cure. Chlorosis (yellowing of the leaves while the veins remain green) often occurs when soils are not sufficiently acidic.

Garden Uses

Specimen, street tree, lawn tree.

Stewartia pseudocamellia



★★★★★, See Comments

[More Images](#)

[Tried and Trouble-free](#) Recommended by 5 Professionals

Common Name: Japanese stewartia

Type: Tree

Family: Theaceae

Native Range: Japan

Zone: 5 to 8

Height: 12.00 to 40.00 feet

Spread: 8.00 to 25.00 feet

Bloom Time: June to July

Bloom Description: White

Sun: Full sun to part shade

Water: Medium

Maintenance: Low

Flower: Showy

Leaf: Good Fall

Other: Winter Interest

[Garden locations](#)

Culture

Best in moist, organically rich, well-drained soils in full sun to part shade.

Noteworthy Characteristics

Japanese stewartia is a small, slow-growing, pyramidal, deciduous tree which typically matures over time to 20-40' tall. Often grown in cultivation as a multi-stemmed shrub to 12' tall. Cup-shaped, camellia-like white flowers (to 2.5" diameter) with showy orange-yellow anthers appear in early summer. Elliptic, dark green foliage (to 3" long) turns attractive shades of reddish-orange and burgundy in autumn. Exfoliating, reddish-brown bark provides good winter color and interest. Species name of *pseudocamellia* means false camellia. Stewartia, camellia and franklinia are all members of the tea family and have similar flowers.

Problems

No serious insect or disease problems.

Garden Uses

Borders, lawn specimens, woodland gardens.

Ulmus 'Morton' ACCOLADE



★★★★★, [See Comments](#)

[More Images](#)

Common Name: elm

Type: Tree

Family: Ulmaceae

Zone: 4 to 9

Height: 50.00 to 60.00 feet

Spread: 25.00 to 40.00 feet

Bloom Time: March to April

Bloom Description: Green

Sun: Full sun

Water: Medium

Maintenance: Low

Suggested Use: Shade Tree, Street Tree

Flower: Insignificant

Leaf: Good Fall

Tolerate: Air Pollution

[Garden locations](#)

Culture

Grow in average, medium moisture, well-drained soils in full sun. Tolerant of light shade. Prefers rich, moist loams. Adapts to both wet and dry sites. Generally tolerant of urban conditions. Regular pruning and spraying is advisable.

Noteworthy Characteristics

ACCOLADE is a vase shaped, medium to large, deciduous elm that typically grows to 50-60' tall and to 25-40' wide. It reportedly has excellent resistance to Dutch elm disease, elm leaf miner and elm leaf beetle. ACCOLADE is derived from a hybrid elm (*Ulmus japonica* x *Ulmus wilsoniana*) that was planted in 1924 at the Morton Arboretum in Lisle, Illinois. ACCOLADE has now been introduced into commerce through Chicagoland Grows. In addition to its excellent disease and pest resistance, it is also noted for its vigorous growth, glossy dark green foliage and good yellow fall color. Non-showy, small green flowers appear in spring before the foliage emerges. Flowers give way to single-seeded, wafer-like samaras (each tiny seed is surrounded by a flattened oval-rounded papery wing). Seeds mature in April-May as the leaves reach full size. Glossy, ovate-elliptic, dark green leaves have toothed margins and asymmetrical bases. Leaves typically turn a quality shade of yellow in fall.

ACCOLADE elms have been planted at Grant Park in Chicago in an effort to bring elms back to the Park.

Problems

ACCOLADE has excellent resistance to Dutch elm disease. It is susceptible to phloem necrosis a disease caused by a phytoplasma that attacks the food-conducting tissue of the tree, usually resulting in a loosening of the bark, wilting, defoliation and death. It is also susceptible to wetwood which is a bacterial disease that results in wilting and dieback. Various wilts, rots, cankers and leaf spots may also occur. Insect visitors include borers, leaf miner, beetles, mealy bugs, caterpillars and scale.

Garden Uses

May be used as a lawn, shade or street tree.

Weigela florida 'Alexandra' WINE AND ROSES



★★★★★, [See Comments](#)

[More Images](#)

[Tried and Trouble-free](#) Recommended by 10 Professionals

Common Name: weigela

Type: Deciduous shrub

Family: Caprifoliaceae

Zone: 4 to 8

Height: 4.00 to 5.00 feet

Spread: 4.00 to 6.00 feet

Bloom Time: April to June

Bloom Description: Reddish pink

Sun: Full sun

Water: Medium

Maintenance: Low

Suggested Use: Hedge

Flower: Showy

Leaf: Colorful, Good Fall

Attracts: Hummingbirds

Tolerate: Clay Soil

[Garden locations](#)

Culture

Easily grown in average, medium, well-drained soils in full sun. Needs full sun for best flowering, but will tolerate very light shade. Prune to shape immediately after flowering.

Noteworthy Characteristics

This weigela cultivar is a densely-rounded deciduous shrub which typically grows 4-5' tall with a slightly larger spread. It is primarily grown for its profuse reddish-pink spring flowers and its purple foliage. Reddish-pink, funnel-shaped flowers (to 1.25" long) appear singly or in clusters along the branches of the previous year's growth in mid to late spring, with sparse and scattered repeat bloom often occurring on new growth as the summer progresses. Elliptic to obovate, glossy, burgundy-purple leaves (to 4" long) turn very dark purple in autumn. Hummingbirds are attracted to the flowers. Patented under the original cultivar name of 'Alexandra' (PP10,772), but is being marketed

under the registered trademark name of WINE AND ROSES. Winner of the Pennsylvania Horticulture Society Gold Medal Plant Award for 2000.

Problems

No serious insect or disease problems.

Garden Uses

Specimen, group or mass. Shrub borders. Also effective as a hedge. May be incorporated into a foundation planting.



Engineering, Planning and Zoning
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Marysville, Ohio 43040-1641
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September 7, 2016

To: City of Marysville
Design Review Board

From: Chad Flowers
City Planner

RE: Planning Staff Report – Moo Moo Express Car Wash

Exterior Plan/Landscape Plan: An application for a new class room addition at property located at 18200 SR 4 North in the GOV (Government Use District) zoning district.

Applicant: Steve DeMange
John Poe Architects
3131 Newmark Drive, Suite 200
Miamisburg, Oh 45342

Owner: West Central Community Correctional Facility
18200 SR 4 North
Marysville, Ohio 43040

PROJECT HISTORY:

The applicant is proposing to construct a new +/- 1200 sq. ft. classroom building addition to the existing West Central Community Correctional Facility at 18200 SR 4 North.

Location:

The property is located in the GOV (Government Use District) zoning district. Property located to the north and east is outside of the Marysville corporate boundary. Property located to the west is outside of the Marysville corporate boundary and PUD (Planned Unit Development). Property located to the south is outside of the Marysville corporate boundary and A-R (Agricultural Residential District).

ENGINEERING STAFF ANALYSIS:

- Due to the lack of engineering detail included within this submittal, the City reserves the right to make additional comments during the Final Engineering review as part of the City's Zoning Permit process. Coordinate with the City Engineer's Office regarding the following final engineering related items:
 - Proposed grading and drainage

- Fire Department approval for the Fire Protection system (if applicable)

PLANNING & ZONING STAFF ANALYSIS:

After review of the submitted application materials, the following information is to guide discussion between the Board and the applicant.

Site Plan:

All setbacks meet City Code.

Landscaping:

The proposed project does not qualify as a substantial expansion per code section 1140.04(f). Therefore the proposed project does not require any additional landscaping.

Parking & Access Drives/Pedestrian Safety:

The existing facility has 123 parking spaces located on-site and multiple loading access areas. Vehicular access is located off of SR 4.

Stormwater:

No comment – The applicant must work with the City Engineering Department to make sure all required City stormwater specifications are met.

Access Management:

The existing facility is a secured site with vehicular access off of SR 4.

Building Materials & Colors (including roofing):

The applicant has provided the north, south, east and west elevations for the proposed building. Materials on the elevations include:

Walls:	Stucco, Color: match existing blue, green and tan)
Roof:	Not specified
Windows:	Not specified

The proposed project is located on property located in the GOV zoning district and are subject to code section 1144.10 Design Review Standards for Commercial and Office design review District (DRD-2).

Per code section 1144.10 building materials shall be of high quality and durability, and architectural features should be used to create visual interest and usability of the commercial or office buildings. Building facades shall be constructed with one or more of the following materials: solid wood, glass, brick, stone, stucco, decorative block or contemporary durable materials, with minimal use of vinyl, decorative aluminum or metal siding.

Code section 1144.10(a)(1) requires a minimum of forty percent (40%) decorative treatment, of the facades of buildings to incorporate brick, brick veneer, stone, stone veneer, split face block, stucco, glass, decorative block, EIFS or other contemporary durable materials that have the appearance of stone, brick or stucco or other natural materials.

The proposed plans/elevations meet the 40% decorative finish requirement

Facades & Exterior Walls:

No comment – See Building Materials. The applicant has provided a color rendering of the building with their application.

Fencing:

No Comment.

Mechanicals:

The proposed plans indicate that mechanicals equipment will be screened by high a parapet wall on the roof.

Lighting:

No additional lighting has been proposed

Outdoor Storage/Loading Areas:

The proposed plans meet all Loading space requirements.

Trash Enclosures:

No additional trash enclosures are proposed.

Signs:

No new signage is proposed.

Additional Information:

Should the submitted application be approved; the Board may wish to remind the applicant of the following:

- Applicant shall work with City Zoning, City Engineer and County Building staff to obtain all proper reviews and permits prior to the commencement of the subject project.
- Exterior Plan approval shall be for a period not to exceed two years from the approval date of the Exterior Plan. If no construction has begun within two years after approval is granted, the approved Exterior Plan shall become null and void.

Staff Recommendation:

City staff has worked with the applicant through the design phase of the project. Staff recommends that the Design Review Board ‘Approve’ the application as proposed.

If you have any questions or comments about the aforementioned comments, please feel free to contact me at (937) 645-7361 or via email at cflowers@marysvilleohio.org.

Cc: J. Hoyt
R. Todd



209 S. Main Street • Marysville, Ohio 43040

Phone: (937) 645-7350 • Fax: (937) 645-7351 • www.marysvilleohio.org

DESIGN REVIEW BOARD APPLICATION EXTERIOR PLAN / LANDSCAPE PLAN

*** IMPORTANT INFORMATION – Please read before completing the application ***

- **Required** - Submission of a complete application, including all of the items listed in the application checklist.
- Applications and applicable fees shall be submitted by no later than 5:00 p.m. on the application deadline date.
- Submitted application and all checklist items shall be reviewed by City staff for completeness. Submittals found to be incomplete will be **rejected** and the application **will not** be placed on the Board agenda. If an application is found to be incomplete, the applicant may submit the missing materials by the application deadline date to complete the application.
- **No late submittals or additional information will be accepted after the application deadline.**
- Exterior work that requires approval by the Design Review Board shall not commence until approval is granted by the Design Review Board and the appropriate approved permits are obtained.

Project Site Information (Please print clearly)

Project Street Address: 18200 SR 4 North, Marysville, OH 43040 Property Zoning District: DRD-2

Company / Business Name: West Central Community Correctional Facility

Description of Proposed Project: Classroom Addition - single story, slab on grade, approx. 1,200 SF

Owner of Property: West Central Community Correctional Facility

Owner's Address (Street): 18200 SR 4 North

City, State and Zip Code: Marysville, OH 43040

Owner's Telephone Number: 937-644-2838

Applicant Information (Please print clearly)

Applicant: Steve DeMange Owner Agent Representative Other

Company: John Poe Architects

Address (street): 3131 Newmark Drive, Suite 200

City, State, and Zip Code: Miamisburg, OH 45342

Telephone Number: 937-461-3290

E-mail Address: sdemange@johnpoe.com

I hereby attest to the truth and exactness of all information supplied on and with this application.

Applicant's Signature: Steve DeMange

Date: 8/22/2016

Owner's Signature: [Signature]

Date: 8/23/2016

FOR OFFICE USE ONLY

Received (stamp): _____

Fees: _____

The application has been reviewed and is found to be complete.

City Staff

Date

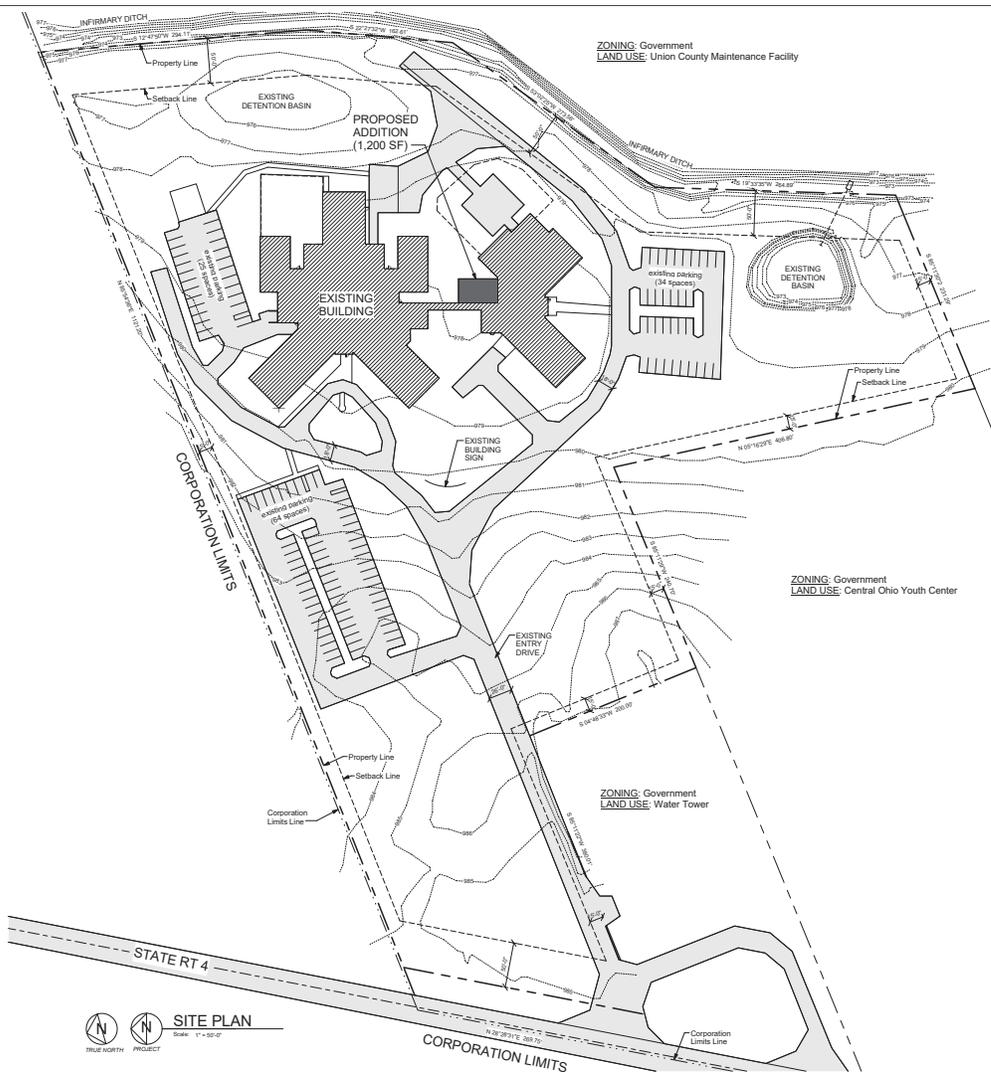
DECISION OF THE DESIGN REVIEW BOARD

- Approved
- Disapproved
- Approved with conditions (provided below)

Specific Conditions of Approval:

Chairperson, Design Review Board

Date



PROPERTY OWNER:
West Central Community Correctional Facility
18200 State Route 4 North
Marysville, Ohio 43040

APPLICANT:
John Poe Architects
3131 Newmark Drive, Suite 200
Miamisburg, OH 45342

ZONING:
Government

LAND USE:
Justice, Public Order, and Safety

BUILDING SETBACKS:
Front: 50 feet
Side: 15 feet
Sum of Sides: 35 feet
Rear: 50 feet

PROPERTY AREA:
12.546 acres

PROPOSED ADDITION:
Approximately 1,200 SF

PROJECT DESCRIPTION:
The proposed addition is located in a remote rear-facing court of the existing building with very limited visibility. The three classrooms will provide needed program space and will not increase the current population.



SITE LOCATION MAP
Scale: 1" = 300'

PROGRESS PRINT
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8/22/2016 8:24 PM
JOHN POE ARCHITECTS

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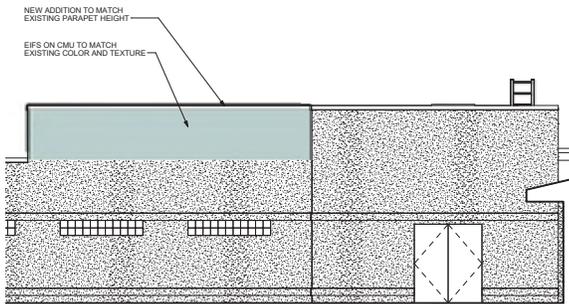
PRINTING	8/22/2016 - DD Submittal
REVISIONS	

West Central Community
Correctional Facility Classroom
Addition
FOR
John Poe Architects
3131 Newmark Drive, Suite 200
Miamisburg, Ohio 45342

JOHN POE ARCHITECTS

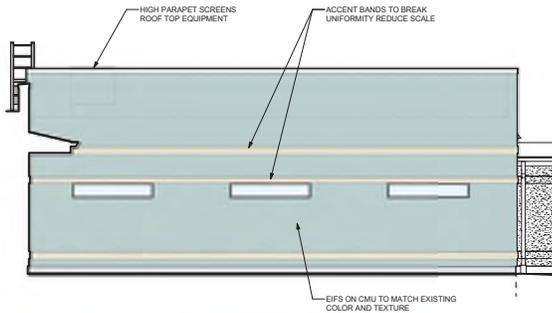
DATE	
PROJECT	
DRAWN BY	SD
CHECKED BY	TR
PROJECT NO	1502102

SITE PLAN
EP-1



WEST ELEVATION

Scale: 1/4" = 1'-0"



EAST ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES:

Appearance: Stucco
Architectural style: Modern
Materials: EIFS (synthetic stucco)
Colors: Match existing (blue green and tan)
Size: Approx. 44' x 26' x 18' high

- No new exterior signs added.
- No new exterior lights added.
- Mechanical equipment screened by high parapet.

PROPERTY OWNER:

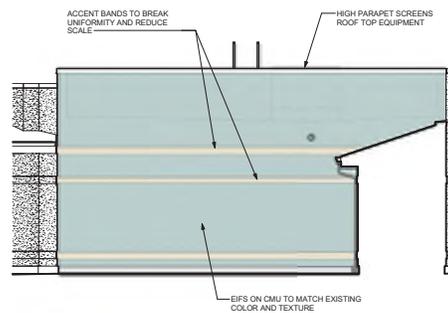
West Central Community Correctional Facility
 18200 State Route 4 North
 Marysville, Ohio 43040

APPLICANT:

John Poe Architects
 3131 Newmark Drive, Suite 200
 Miamisburg, OH 45342



EXTERIOR VIEW LOOKING SOUTHWEST



NORTH ELEVATION

Scale: 1/4" = 1'-0"

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REVISIONS

West Central Community
 Correctional Facility Classroom
 Addition

FOR
 WEST CENTRAL COMMUNITY
 MARISSBURG, OHIO 45342

JOHN POE ARCHITECTS

DATE

8/10/2016

DRAWN BY

SD

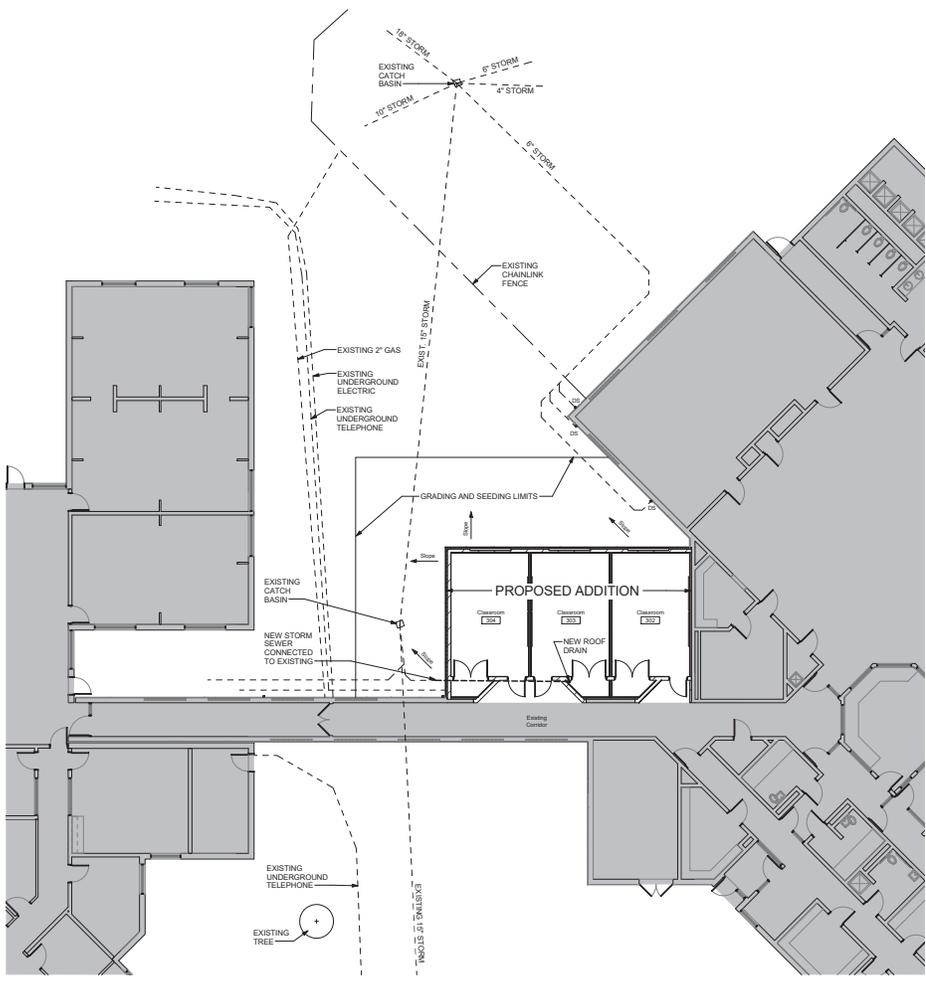
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PROJECT NO

15024300

**BUILDING
 ELEVATION
 EP-2**



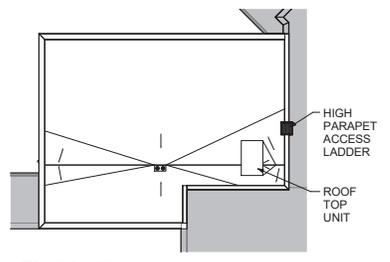
LANDSCAPING PLAN
Scale: 1/8" = 1'-0"
PROJECT

PROPERTY OWNER:
West Central Community Correctional Facility
18200 State Route 4 North
Marysville, Ohio 43040

APPLICANT:
John Poe Architects
3131 Newmark Drive, Suite 200
Miamisburg, OH 45342

PROPOSED ADDITION:
Approximately 1,200 SF

- No changes to site utilities except small modification and connection to existing storm sewer.
- No changes to existing trees or vegetation.



ROOF PLAN
Scale: 1/8" = 1'-0"
PROJECT



SITE LOCATION MAP
Scale: 1" = 300'-0"
PROJECT

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REVISIONS

West Central Community
Correctional Facility Classroom
Addition
FOR THE CLIENT
West Central Community
Marysville, Ohio 43040



DATE

LANDSCAPE PLAN
EP-3



Engineering, Planning and Zoning
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(937) 645-7350
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www.marysvilleohio.org

September 7, 2016

To: City of Marysville
Design Review Board

From: Chad Flowers
City Planner

RE: Planning Staff Report – 4 Paws Resort

Exterior Plan/Landscape Plan: An application for a new +/- 5000 sq. ft. exercise building at the existing 4 Paws Resort on property located at 454 N Maple Street in the SD1 (Special District One) zoning district.

Applicant: Steve Bell
Concept Building Inc.
20209 Barker Road
Marysville, Ohio 43040

Owner: Ami Cooksey
4 Paws Resort
454 N Maple Street
Marysville, Ohio 43040

PROJECT HISTORY:

The applicant is proposing to construct a new +/- 5000 sq. ft. exercise building for the existing 4 Paws Resort. This development project will require the applicant to bring the existing site into compliance with the current zoning regulations.

Location:

The subject property is located in the SD1 (Special District One) zoning district. Property located to the north is zoned BR (Business Residential) and R-2 (Medium Density Single Family Residential). Property located to the west and south is zoned BR (Business Residential). Property located to the east is zoned BR (Business Residential) and R-2 (Medium Density Single Family Residential).

ENGINEERING STAFF ANALYSIS:

- Due to the lack of engineering detail included within this submittal, the City reserves the right to make additional comments during the Final Engineering review as part of the City's

Zoning Permit process. Coordinate with the City Engineer's Office regarding the following final engineering related items:

- Drainage calculations and design for the stormwater management system
- Utility connections (public water and wastewater)
- Proposed grading and drainage
- Fire Department approval for the Fire Protection system (if applicable)
- Coordinate with City staff to mitigate the noise complaints that the City has received since your relocation to the Maple Street facility
- Per the Union County Trail and Greenway Master plan, a bike trail connection is needed to connect the existing Jim Simmons trail between Schwartzkopf Park and McCarthy Park. This bike path connection is intended to run along the existing Mill Creek and is an important connection for the trail network. The City requests that an easement be granted by the property owner to the City, for the potential development of a trail extension along the Mill Creek. This trail would also potentially provide a connection to the existing dog park west of the subject property.

PLANNING & ZONING STAFF ANALYSIS:

After review of the submitted application materials, the following information is to guide discussion between the Board and the applicant.

Site Plan:

The dimension of the property lines shown on the site plan are inconsistent to the City GIS. It appears (on City GIS) the distance between the existing structure on-site and the southern property line is +/- 109 feet. The plans show this distance at +/- 135'-0" in length. The side yard setback within the SD1 district is ten (10) feet.

Although the plans show some discrepancy with the dimensions shown on the plan, it appears that the proposed building will meet all property setbacks.

Landscaping:

The applicant has not provided a landscape plan with the proposed application for review. Per code section 1140.05(a)(1) the applicant shall submit a landscape plan meeting the code requirements found in chapter 1140.

Code section 1140.07(b)(B) requires a 3'-0" tall hedge row to screen all parking lot/vehicular use areas on site. The applicant is required to screen the existing parking lot from the right-of-way.

Code section 1140.07(d) requires street trees to be planted along all public street frontages. The applicant is required to locate street trees on the N Maple street frontage.

An existing dead large deciduous Shade tree is located just south of the proposed building location. This tree shall be removed prior to construction of the new structure.

Parking & Access Drives/Pedestrian Safety:

The existing concrete driveway and parking lot is not well defined and is in very poor condition. Also found on-site are a few gravel areas within the parking lot area. Per code section 1141.04(a) the entire parking lot area shall consist of a hard-surface. Parking lots are also required to be

curbed and parking spaces striped. Accessible parking spaces are required on-site and shall be marked appropriately with signage.

Per code section 1141.12(f)(4)(I), 1 parking space is required for every 250 sq. ft. of gross floor area. The existing building on-site is +/- 3168 sq. ft. in size. The required parking on-site is 13 parking spaces. Existing parking on-site is not clearly labeled or striped. The applicant is required to show the required number of parking spaces on-site.

Stormwater:

No comment – The applicant must work with the City Engineering Department to make sure all required City stormwater specifications are met.

Access Management:

The proposed project is located on property located in the SD1 zoning district and is subject to code section 1144.10 Design Review Standards for Commercial and Office design review District (DRD-2).

The site is accessed by a single curb cut on N Maple Street.

Per code section 1144.10 (b)(4) walkways between the public sidewalks and the building entrances shall be provided. The current plans show an existing sidewalk along W Maple Street. The applicant is required to provide a sidewalk connection between the front entrance door and the existing sidewalk on N Maple Street. The applicant will also be required to show a sidewalk connection between the existing building and the proposed new structure entrance.

Building Materials & Colors (including roofing):

The applicant has provided the north, south, east and west elevations for the proposed building. Materials on the elevations include:

Walls:	To match metal siding of existing structure on-site. Color: Grey
Trim:	To match existing structure on-site.
Roof:	Not specified. Existing structure on-site has a maroon colored metal roof.
Windows:	Not specified
Doors:	Not specified

The existing structure on-site provides a decorative wood window shutter on all windows facing N Maple Street. Staff suggests adding the same detail to the window facing N Maple Street on the proposed structure.

Per code section 1144.10 building materials shall be of high quality and durability, and architectural features should be used to create visual interest and usability of the commercial or office buildings. Building facades shall be constructed with one or more of the following materials: solid wood, glass, brick, stone, stucco, decorative block or contemporary durable materials, with minimal use of vinyl, decorative aluminum or metal siding.

The proposed plans are intended to match the existing structure on-site to maintain consistency.

Facades & Exterior Walls:

No comment – See Building Materials. The applicant has provided a rendering of the building with their application.

Fencing:

No Comment.

Mechanicals:

No mechanicals are labeled on the proposed site plan. Per code 1144.10(c) all utility boxes and/or mechanical equipment (ac units) shall be screened.

Lighting:

The applicant has not provided a site lighting plan for review. If any new site lighting is proposed to be installed the applicant will need to provide a site lighting plan for review. Site lighting plans shall include a site photo metric plan, light fixture and pole details/colors.

Outdoor Storage/Loading Areas:

The proposed plans meet all Loading space requirements.

Trash Enclosures:

No trash enclosure has been provided on the proposed site plans. An existing dumpster is located on-site with no screening. The applicant shall provide a dumpster enclosure in-site that meets code section 1144.10(d).

Per code, any trash area must meet the following requirements per section City code section 1144.10(d).

1144.10(d) Trash Enclosures. Trash containers or receptacles (including recycling containers) shall be screened or enclosed with a trash enclosure meeting the following criteria:

- (1) The trash enclosure shall have four (4) sides with opening doors for the purpose of trash removal.
- (2) The trash enclosure shall be constructed of a wooden or vinyl fence structure, or masonry wall with an opacity of one hundred percent (100 %) and a height of one foot above the top of the tallest container.
- (3) The trash enclosure shall be constructed so that the opening doors are wide enough to accommodate a garbage truck emptying and replacing the trash container or receptacle.
- (4) The building materials used for the trash enclosures shall be compatible with the building materials used on the principal building. A reinforced concrete pad and approach apron shall be constructed under and in front of the enclosed area.
- (5) Gates and doors on the enclosure shall be of a wood, vinyl, hardiplank or any alternative material the Board deems suitable. Fencing with slats is prohibited.
- (6) The location of enclosures shall be as inconspicuous as possible.

Signs:

The applicant shall work with the City Zoning Administrator to obtain appropriate signage permits.

Additional Information:

- The existing site currently has miscellaneous construction materials (chain link fencing, posts, carpet material) and debris (old chairs) stored in a few lawn areas on-site. This is a violation of the property maintenance code 1319.07(b) and 1319.07(c). The applicant is required to remove these items from the lawn area to remedy the violation.

Should the submitted application be approved; the Board may wish to remind the applicant of the following:

- Applicant shall work with City Zoning, City Engineer and County Building staff to obtain all proper reviews and permits prior to the commencement of the subject project.
- Exterior Plan approval shall be for a period not to exceed two years from the approval date of the Exterior Plan. If no construction has begun within two years after approval is granted, the approved Exterior Plan shall become null and void.

Staff Comments:

Staff has reviewed the proposed application and has the following comments.

1. The applicant shall show the correct site dimensions between the existing building and the existing property lines.
2. The applicant shall submit a landscape plan meeting the code requirements found in chapter 1140.07.
3. The applicant shall remove the existing large dead deciduous shade tree on-site.
4. The applicant shall bring the existing parking lot into compliance with the current City code chapter 1140.04(a) and 1141.12(f)(4)(I).
5. The applicant shall provide a sidewalk connection between the front door of the existing structure and the existing sidewalk on N Maple Street to meet code section 1144.10(b)(4). The applicant shall also provide a sidewalk connection between the existing building entrance and the proposed building entrance.
6. City Staff suggests the applicant add the same shutter detail found on the existing building to the windows facing N Maple Street on the proposed structure.
7. The applicant shall show and screen all mechanical equipment on-site.
8. The applicant shall provide a site lighting plan for review.
9. The applicant shall provide a dumpster enclosure on-site meeting code section 1144.10(d).
10. The applicant remedy the existing property maintenance code violations on-site.

If you have any questions or comments about the aforementioned comments, please feel free to contact me at (937) 645-7361 or via email at cflowers@marysvilleohio.org.

Cc: J. Hoyt
R. Todd



209 S. Main Street • Marysville, Ohio 43040

Phone: (937) 645-7350 • Fax: (937) 645-7351 • www.marysvilleohio.org

DESIGN REVIEW BOARD APPLICATION EXTERIOR PLAN / LANDSCAPE PLAN

*** IMPORTANT INFORMATION – Please read before completing the application ***

- **Required** - Submission of a complete application, including all of the items listed in the application checklist.
- Applications and applicable fees shall be submitted by no later than 5:00 p.m. on the application deadline date.
- Submitted application and all checklist items shall be reviewed by City staff for completeness. Submittals found to be incomplete will be **rejected** and the application **will not** be placed on the Board agenda. If an application is found to be incomplete, the applicant may submit the missing materials by the application deadline date to complete the application.
- **No late submittals or additional information will be accepted after the application deadline.**
- Exterior work that requires approval by the Design Review Board shall not commence until approval is granted by the Design Review Board and the appropriate approved permits are obtained.

Project Site Information (Please print clearly)

Project Street Address: 454 NORTH MAPLE STREET Property Zoning District: SO-1

Company / Business Name: 4 PAWS RESORT

Description of Proposed Project: A NEW EXERCISE BUILDING

Owner of Property: AMI COOKSEY

Owner's Address (Street): P.O. BOX 237

City, State and Zip Code: NORTH LEWISBURG, OHIO 43060

Owner's Telephone Number: 937-644-2275

Applicant Information (Please print clearly)

Applicant: STEVEN D. BELL, PRES. Owner Agent Representative Other

Company: CONCEPT BUILDINGS, INC.

Address (street): 20209 BARKER ROAD

City, State, and Zip Code: MARYSVILLE, OHIO 43040

Telephone Number: 937-537-0324

E-mail Address: sbell324@hotmail.com

I hereby attest to the truth and exactness of all information supplied on and with this application.

Applicant's Signature:

[Signature], P.D.M.

Date:

8/3/16

Owner's Signature:

[Signature]

Date:

08-4-16

FOR OFFICE USE ONLY

Received (stamp):

Fees:

The application has been reviewed and is found to be complete.

City Staff

Date

DECISION OF THE DESIGN REVIEW BOARD

Approved

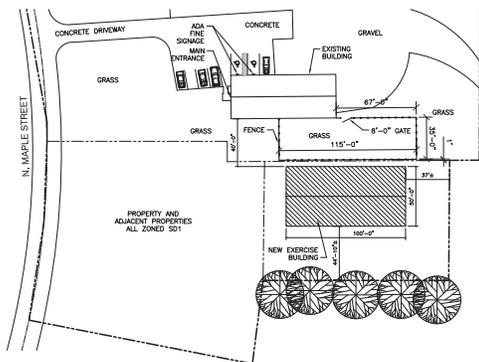
Disapproved

Approved with conditions (provided below)

Specific Conditions of Approval:

Chairperson, Design Review Board

Date



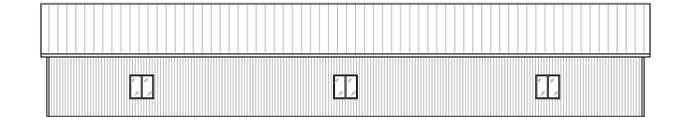
SITE PLAN
SCALE: 1"=30'



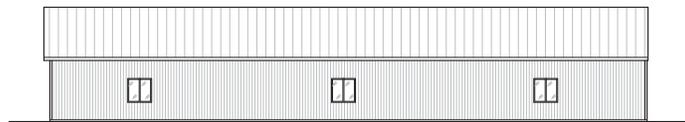
LOCATION MAP
SCALE: 1/8"=1'-0"



3D PERSPECTIVE
SCALE: NTS



NORTH ELEVATION
SCALE: 1/8"=1'-0"

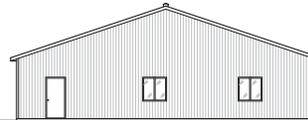


SOUTH ELEVATION
SCALE: 1/8"=1'-0"

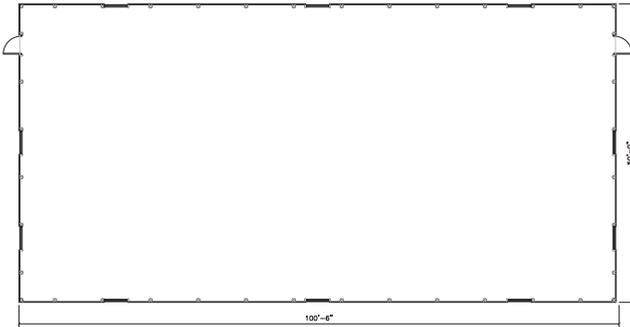


EAST ELEVATION
SCALE: 1/8"=1'-0"

MATCH EXISTING SIDING AS CLOSE AS POSSIBLE



WEST ELEVATION
SCALE: 1/8"=1'-0"



FLOOR PLAN
SCALE: 1/8"=1'-0"

A NEW EXERCISE BUILDING FOR
"4 PAVES RESORT"
455 N. MAPLE STREET
MARYSVILLE, OHIO 43040
UNION COUNTY
PARIS TOWNSHIP
OWNER: AMI COCKREY

NO.	CORR. LTR. DATE	REVISED	ISSUE DATE

CONCEPT BUILDINGS, INC.
MARYSVILLE, OHIO
(937) 644-0605
THE SHEET DESIGN REVIEW

PROJECT: NEW POLE BLDG.
DATE: 07-25-16
DRAWN BY: P.R.M.
CHECKED BY: AS NOTED
SHEET: 1 OF 1
A.1